



# City of Jacksonville Beach

## Regular Meeting Agenda (Amended)

11 North Third Street  
Jacksonville Beach, Florida

### Board of Adjustment

Tuesday, March 17, 2026

6:00 PM

Council Chambers

#### MEMORANDUM TO:

Members of the City of Jacksonville Beach Board of Adjustment

The following Agenda of Business has been prepared for consideration and action at a Regular Meeting of the Board of Adjustment:

#### CALL TO ORDER

#### ADMINISTER OATHS OF OFFICE

A. 2nd Alternate Victor Melone

#### ROLL CALL

#### APPROVAL OF MINUTES

#### CORRESPONDENCE

#### OLD BUSINESS

#### NEW BUSINESS

- A. **Case Number(s): BOA#26-100012**  
Applicant: Emily Costas (Dougherty)  
Agent: John Raymer  
Owner: Emily Costas (Dougherty)  
Property Address: 1601 N 6th Ave  
Parcel ID: 177903-0000  
Legal Description: Lot 7, Block 1, *Pine Grove Unit 4*  
Current Zoning: RS-1  
Motion to Consider: **Section(s):** 34-611(e)(1)(c)(2), for an easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 feet minimum, to address existing nonconformities and allow for a second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed** 1601 N 6<sup>th</sup> Ave **RE#** 177903-0000, **legally described as** Lot 7, Block 1, *Pine Grove Unit 4*
- B. **Case Number(s): BOA#26-100013**  
Applicant: Nick Stam  
Agent: Scott Rae  
Owner: Akoumia LLC  
Property Address: 123 S 30th Ave  
Parcel ID: 181643-0000  
Legal Description: Lot 4, Block 7, *Atlantic Shores Ocean Front Section- Division C*  
Current Zoning: RS-1  
Motion to Consider: **Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and

34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed** 123 S 30<sup>th</sup> Ave **RE#** 181643-0000, **legally described as** Lot 4, Block 7, *Atlantic Shores Ocean Front Section- Division C*

C. **Case Number(s): BOA#26-100014**

Applicant: Nick Stam  
Agent: Scott Rae  
Owner: Akoumia LLC  
Property Address: 123 S 30th Avenue  
Parcel ID: 181643-0000  
Legal Description: Lot 3, Block 7, *Atlantic Shores Ocean Front Section- Division C*  
Current Zoning: RS-1  
Motion to Consider: **Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed** 123 S 30<sup>th</sup> Ave **RE#** 181643-0000, **legally described as** Lot 3, Block 7, *Atlantic Shores Ocean Front Section- Division C*

D. **Case Number(s): BOA#26-100015**

Applicant: Jeffery & Grace Maxwell  
Agent: N/A  
Owner: Jeffery & Grace Maxwell  
Property Address: 504 S 2<sup>nd</sup> Street  
Parcel ID: 175963-0000  
Legal Description: The North ½ of Lots 1 and 2, Block 53, *Pablo Beach South*  
Current Zoning: C-1  
Motion to Consider: **Section(s):** 34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 feet minimum, 34-614(e)(3)(c)(2) for a corner side yard of 4.5 feet in lieu of 10 feet minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities, and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed** 504 S 2<sup>nd</sup> St **RE#** 175963-0000, **legally described as** The North ½ of Lots 1 and 2, Block 53, *Pablo Beach South*

E. **Case Number(s): BOA#26-100016**

Applicant: Russell Cox  
Agent: N/A  
Owner: Russell Cox  
Property Address: 803 S 9th Avenue  
Parcel ID: 176614-0000  
Legal Description: The South ½ of Lots 11 and 12, Block 89, *Oceanside Park*  
Current Zoning: RS-3  
Motion to Consider: **Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new townhomes, located at **property addressed** 803 S 9<sup>th</sup> Ave **RE#** 176614-0000, **legally described as** The South ½ of Lots 11 and 12, Block 89, *Oceanside Park*

- F. **Case Number(s):** **BOA#26-100017**  
Applicant: Jaclyn George  
Agent: Greg Nelson  
Owner: Christopher & Jaclyn George  
Property Address: 39 S 33rd Avenue  
Parcel ID: 181533-0000  
Legal Description: The West ½ of Lot 6, Block 4, All of Lots 7 & 8, Block 4, *Atlantic shores*  
Current Zoning: RS-1  
Motion to Consider: **Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed** 39 S 33<sup>rd</sup> Ave **RE#** 181533-0000, **legally described as** the West ½ of Lot 6, Block 4, All of Lots 7 & 8, Block 4, *Atlantic shores*

## **PLANNING DEPARTMENT REPORT**

### **COURTESY OF THE FLOOR TO VISITORS**

### **ADJOURNMENT**

#### **NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an [Accommodation Request](#) to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbchfl.net](mailto:planning@jaxbchfl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

***In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.***

cc: City Manager; City Attorney



BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-10012 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-10012**

ZONING: RS-1  
 RE NO.: 177903-0000  
 LEGAL: Lot 7, Block 1, *Pine Grove Unit 4*  
 ADDRESS: 1601 N 6th Ave

**REQUEST:**

**Section(s):** 34-611(e)(1)(c)(2), for an easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 feet minimum, to address existing nonconformities and allow for a second story addition, new front addition and front entry porch, to an existing one-story single-family home.

**EXISTING CONDITIONS:**

The subject property is located in the Low Density Residential future land use category, and is in the Residential, single-family: RS-1 zoning district. The subject site consists of a single-family lot of record, circa 1946. The property measures 75 feet in width and 100 feet in depth, with an overall lot area of 7,500 square feet. The property is currently occupied by a single-family home, built in 1962. The parcel is nonconforming in width and overall lot area. In the Residential, single-family: RS-1 zoning district, the minimum lot area is 9,000 square feet with a minimum width of 90 feet. This parcel does not conform to these standards.

The subject property is developed with an existing one-story, single-family dwelling. The structure was constructed prior to the adoption of the current RS-1 zoning district standards. As a result, the existing home does not fully conform to the required side yard setback regulations currently established under the RS-1 zoning district. The applicant is proposing to construct a second-story addition over a portion of the existing structure. The proposed addition will align with the footprint of the existing home and will utilize the current side yard setbacks of the structure. The applicant is requesting approval to maintain the existing side setbacks for the proposed second-story addition. The existing setbacks are: 8.1 feet on the east and 7.7 feet on the west. These setbacks were established at the time of the home's original construction and do not meet the current RS-1 side yard setback standards. The proposed improvements consist of adding a new second floor to a portion of the existing residence. The project does not propose any expansion of the existing building's footprint.



The nonconforming conditions were inherited by the applicant upon purchase. The applicant cannot make any improvements to the existing structure in a logical fashion without expanding the current structure. If the applicant were to demolish the dwelling and build a new one, the applicant would still have constraints due to the lot's substandard nature. The request is consistent with a typical single-family home, in which additions and renovations are common, and will allow the applicant to utilize the parcel to its full potential. Staff finds this request consistent with the criteria for approval of a variance, and specifically finds this will not create a nuisance, as the applicant will not encroach on the required yard setbacks to such an extent that they would negatively affect the neighboring property.

There are no previous BOA cases for the subject property.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

The subject property is an existing lot of record platted prior to the current Land Development Code (LDC) in 1946. The house was built in 1962, which is also prior to our current LDC. The second story addition will help the functionality of the home, helping the client utilize the home and parcel to its full potential. The variance requested is the minimum necessary to allow the applicant to utilize the property to complete the proposed addition. Due to the residence being constructed prior to the adoption of the current RS-1 zoning requirements, the structure is considered legally nonconforming with respect to side setbacks. The applicant did not construct the original home and is seeking to maintain the existing building lines while improving the structure.

The proposed addition will utilize the existing side and front setbacks. Staff notes that the project does not intensify the nonconformity by expanding the footprint further into the side setbacks. Instead, a second-story addition is proposed directly above the existing structure. The intent of the project is to construct a second-story addition to a portion of the existing single-family home in order to increase usable living space while maintaining the established footprint of the structure. Staff finds the request reasonable, as the proposed addition does not expand the existing nonconforming footprint and maintains compliance with the rear setback requirements of the RS-1 zoning district.

Granting the variance does not confer special privileges but instead allows the property owner to make reasonable improvements consistent with other residential properties. The requested variances are necessary to enable the reasonable use of the property for residential purposes. Without relief, the new second story addition would not have any logical location on the parcel due to its substandard size. The applicant worked with licensed architects to configure a site plan that maintains consistency among neighboring properties that is essential in preserving the character of the community.

**MINIMUM DIMENSIONAL STANDARDS:**

**Residential Single, family: RS-1 Zoning Dimensional Standards**

- Minimum lot area: 9,000 square feet.
- Minimum lot width: 90 feet at the building line and a minimum of 35 feet at the street.
- Minimum yards:
  - Front yard: 25 feet.

- Side yard: 10 feet on each side except when the lot is a corner lot. For a corner lot, the side yard on the corner shall be 20 percent of the lot width or 10 feet, whichever is greater, except the side yard is never required to exceed 20 feet.
- Rear yard: 30 feet for primary structure and 20 feet for unenclosed covered patios and enclosed screen rooms.
- Minimum floor area: A single-family dwelling unit shall contain a minimum of 1,400 square feet of conditioned living area and a 1-car garage. The garage shall not be included as part of the single-family dwelling unit's minimum square footage.
- Maximum lot coverage for primary structure and required driveway: 35 percent.
- Maximum Impervious Surface: 50 percent.
- Maximum height: 35 feet.
- Accessory structures: All accessory structures shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

#### REVIEW OF CRITERIA:

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there are conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure. There are conditions unique to the subject property which prevent compliance with current setback standards. The existing single-family dwelling was constructed under earlier development regulations that predate the updated 2025 Land Development Code, and is substandard in overall size. The parcel dimensions and current placement of the house limit where the addition can be constructed, and cannot reasonably be located without setback relief. These factors create circumstances not generally applicable to other parcels in the zoning district.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances are not a result of the actions of the applicant. The conditions are not the result of the applicant's actions. The configuration of the existing parcel and the applicable code requirements predate the current proposal. The hardship arises from the physical configuration of the lot and the location of the existing structure, not from any subdivision, modification, or other voluntary act of the applicant.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges will not be afforded to the applicant by granting a variance. Granting the requested variances will not confer special privileges to the applicant. The relief requested is the minimum necessary to allow the second-story addition, which is common for single-family homes in that area. Other similarly constrained properties may seek comparable relief, and approval here does not create an advantage unavailable to others in like circumstances.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code **would** deprive the applicant of rights enjoyed by other parcels of land. Strict enforcement of the current LDC would prohibit the applicant from making reasonable improvements to their home. This would deprive the applicant of opportunities commonly enjoyed by other residential property owners, creating an unnecessary and undue hardship.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested **are** necessary to make possible a reasonable use of the parcel of land, building, or structure. The requested variances are necessary to allow the applicant to make a reasonable residential use of the property. Without relief, the ability to improve the home with the addition would be severely limited, which is inconsistent with the intended use and enjoyment of single-family residential properties in the district.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) **will not** result in the creation of a public nuisance. The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100012**.

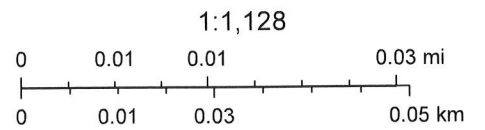
**ATTACHMENTS:**

1. 26-100012pics
2. BOA#26-100012 Application

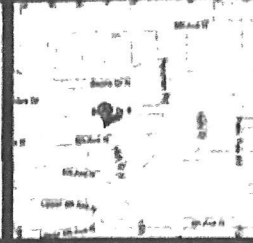


March 5, 2026

 Parcels



Ordered By:



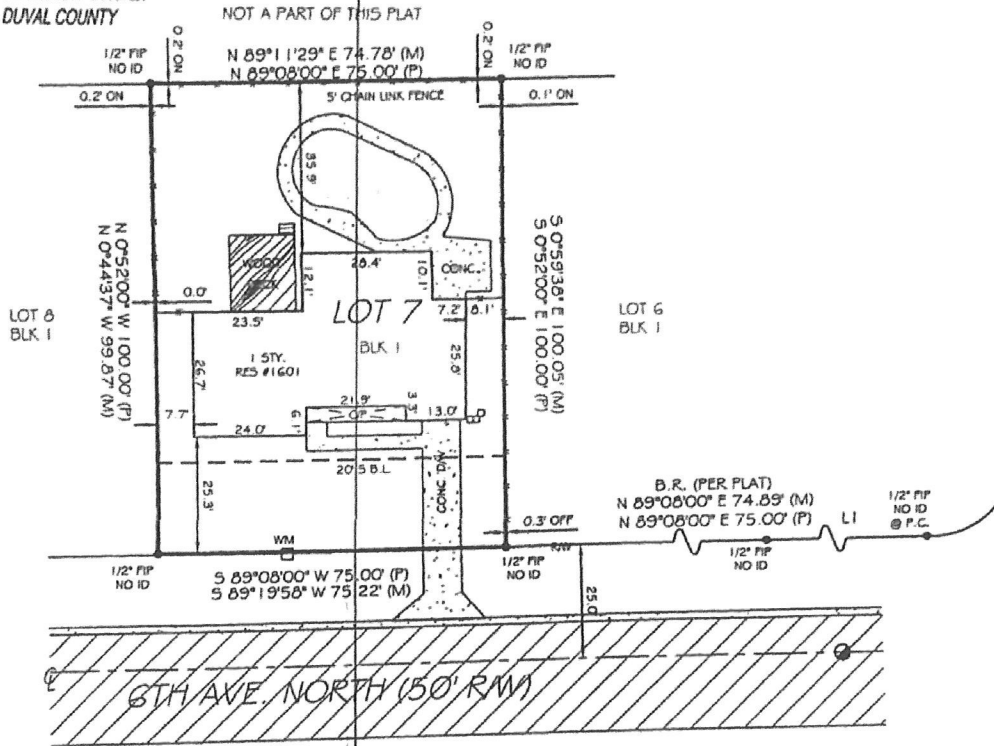
PROPERTY ADDRESS: 1601 6th AVENUE N. JACKSONVILLE BEACH, Florida 32250

SURVEY NUMBER: 1107 0589

FIELD WORK DATE: 7/12/2011 REVISION DATE(S): Rev 0 7/13/2011

FL 1107.0589  
BOUNDARY SURVEY  
DUVAL COUNTY

TABLE:  
L1 N 89°08'00" E 330.00' (P)  
N 89°15'51" E 329.68' (M)



I hereby certify that the section of Survey hereon described property has been made under oath, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum requirements set forth by the Florida Board of Professional Land Surveyors as described in Chapter 5J-17 of the Florida Administrative Code.

**KEITH A. STEPHENSON**  
State of Florida Professional Surveyor and Mapper  
License No. 6521

NOTES:  
SETBACK INFORMATION SHOWN ON PLAT, NOT VERIFIED  
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER  
FENCE OWNERSHIP NOT DETERMINED

GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.

Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

POINTS OF INTEREST: NONE VISIBLE

FLOOD INFORMATION:  
By performing a search at [www.fema.gov](http://www.fema.gov), the property appears to be located in zone X. This Property was found in CITY OF JACKSONVILLE BEACH, community number 120078, dated 04/17/89.

CLIENT NUMBER:	DATE: 7/13/2011
BUYER: JAMES M. AND JEAN D. SCHREIBER	
SELLER:	
CERTIFIED TO: JAMES M. AND JEAN D. SCHREIBER; NASSAU TITLE COMPANY; COMMONWEALTH ALND TITLE INSURANCE COMPANY; PRIMELENDING, A PLAINSCAPITAL COMPANY	

**Florida Land Title Association**  
AFFILIATE MEMBERS

**EXACTA**  
Land Surveyors, Inc.

www.surveystars.com  
P 865-735-1916 • F 865-744-2882  
12220 Towne Lake Drive, Suite 55 • Ft. Myers, FL 33915

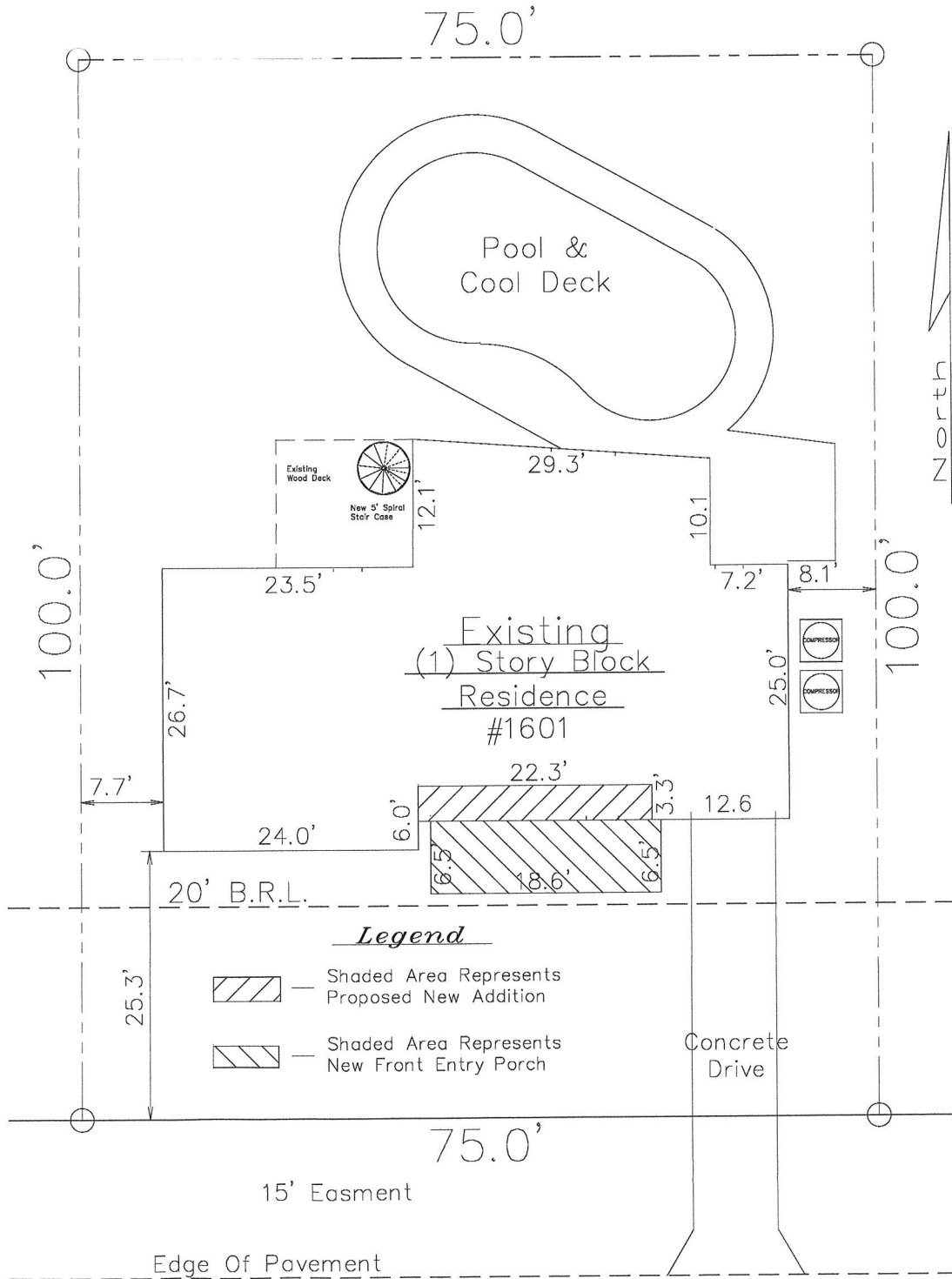
Map Showing Lot 7 Block 1 Pine Grove, Unit 4  
 Duval County, Florida, As Per The Public  
 Records Of Duval County, Florida.  
 (Addendum to Original)

Scale: 1"=10'

Date: December 31, 2025

Lot Coverage

Total Lot Area	—————	7,500 S.F.
Existing Residence	—————	1752 S.F.
New Front Porch	—————	133 S.F.
Concrete Drive	—————	354 S.F.
Pool & Cool Deck	—————	1050 S.F.



6th Avenue North  
 50' Right Of Way

THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SIMILARITIES TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC., AND ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DRAWINGS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

Project Overview

- The Intended Goal In This Project Is To Add A New Second Floor To A Portion Of An Existing One Story, Split Level, Concrete Block Home.
1. Remove Roof Structure From The Entire 35' x 24' Lower Level, But Leave The Flat Roof Structure Over The Addition At The Rear Intact.
  2. Remove The Entire 22' Concrete Block Entry Wall At The Front. Pour New Concrete Slab To Expand The Heated Footprint & Add A New Front Porch Concrete Slab As Shown On The Foundation Page (Sheet 7).
  3. Frame A New Entry Wall As Shown On The New Floor Plan (Sheet 5) To Accomodate The New Front Door Location & New Stairs To Access The New 2nd Floor & Frame A New Post & Beam Front Porch With A Balcony As Shown On The 2nd Floor Plan (Sheet 6).
  4. Install A New Floor Truss System As Shown On The Floor Framing Plan (Sheet 8), Frame New 2nd Floor Walls, Deck Over And Frame A New Post & Beam Balcony Over The Existing Flat Roof Of The Addition At The Rear Of The Structure And Install New Pre Engineered Roof Trusses Over All New 2nd Floor Spaces As Shown On The Roof Plan (Sheet 10).

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA - ACCESSIBILITY CODE / IZ BUILDING CONSTRUCTION - 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELEC TRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION MECHANICAL

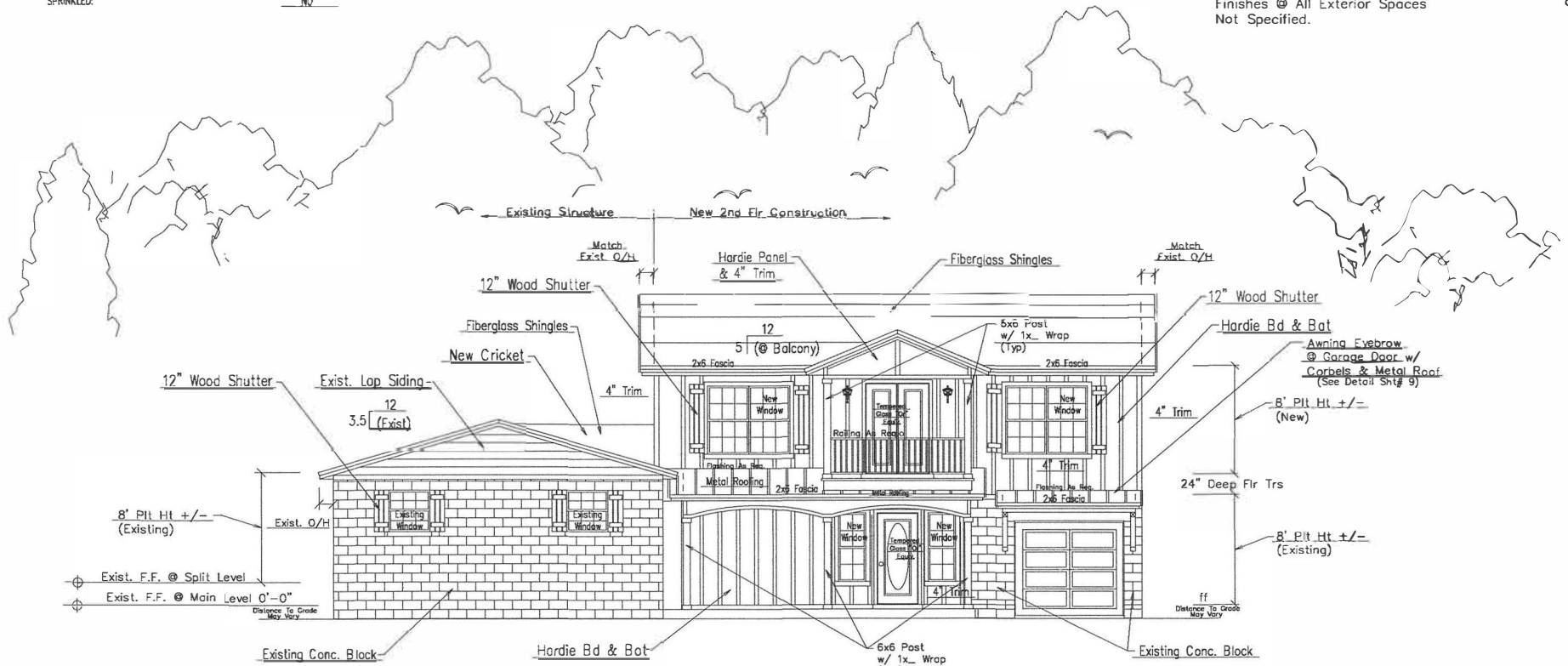
- NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

WIND ZONE INFORMATION

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE REQUIREMENTS OF SECTION 1600 OF THE 2023, 8th EDITION OF THE FLORIDA BUILDING CODE

TYPE OF CONSTRUCTION

OCCUPANCY:	<u>  R-3  </u>
TYPE OF CONSTRUCTION:	<u>  V-B  </u>
SPRINKLED:	<u>  NO  </u>



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

Copyright: Best Plan Designs, Inc. ©2025

Best Plan Designs  
 (904)354-8056  
 Date: 12/20/25 Plan 791  
 Sheet 1 of 14

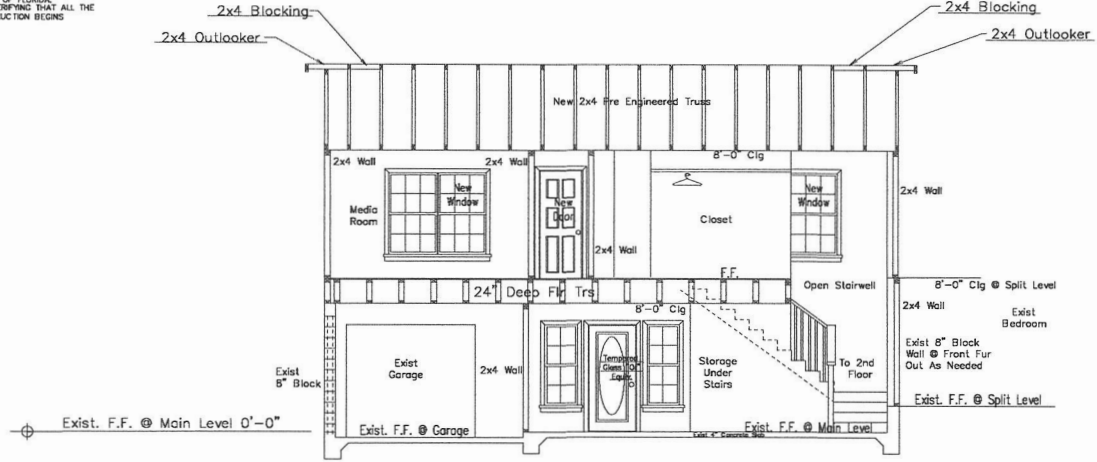
Niko & Emily Costas  
 1601 6th Ave, N.  
 Jacksonville, FL  
 32050

Office  
 904-292-0018  
 Fax  
 904-292-1794

All Florida  
 Custom Homes



THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY OMISSIONS TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC. AND, ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.



**SECTION A-A**

SCALE: 1/4" = 1'-0"

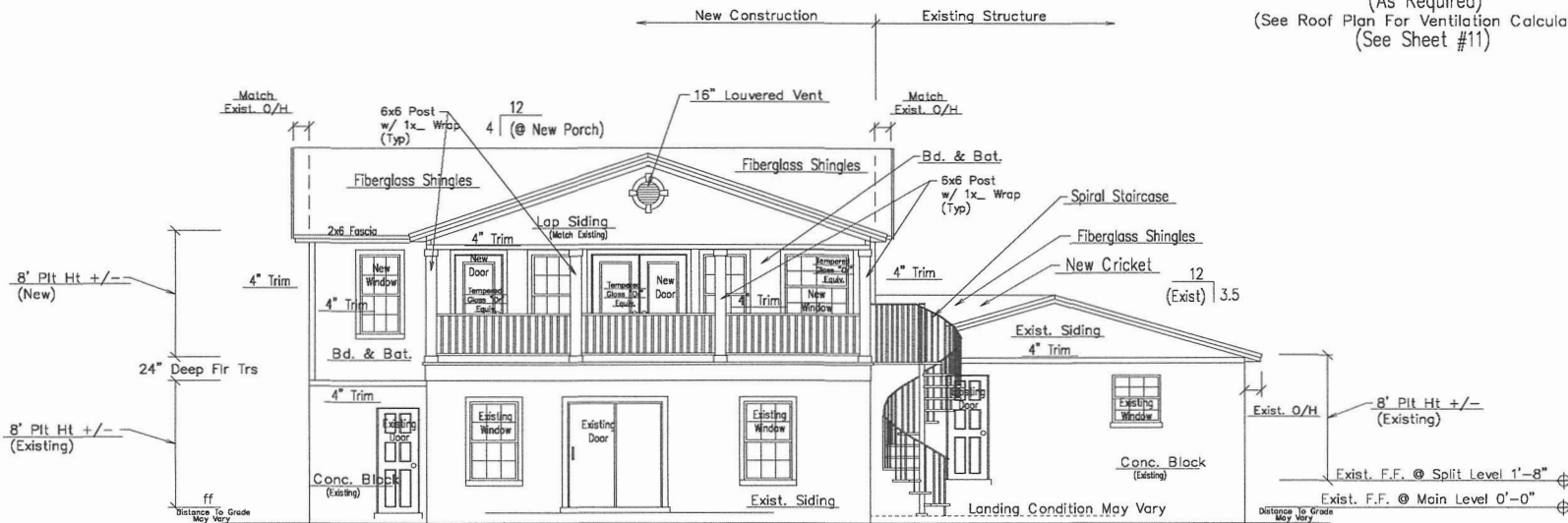
CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA BUILDING CODE, ACCESSIBILITY CODE I/F BUILDING CONSTRUCTION, 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

- NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.
- NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.
- NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.
- NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.
- NOTE: See Bldr ?/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

NOTE: Match All Materials, Pitches, Overhangs, & Fascia's To Give The Appearance Of Being An Original Part Of The Core Structure.

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

(As Required)  
 (See Roof Plan For Ventilation Calculations)  
 (See Sheet #11)



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

Copyright: Best Plan Designs, Inc. ©2025

Best Plan Designs  
 (904)384-6366  
 Date: 12/20/25 Plan 791 Sheet 2 of 14

Niko & Emily Costas  
 1601 6th Ave. N.  
 Jacksonville, FL  
 32050  
 Job# 24004

Office 904-292-0018  
 Fax 904-292-1794

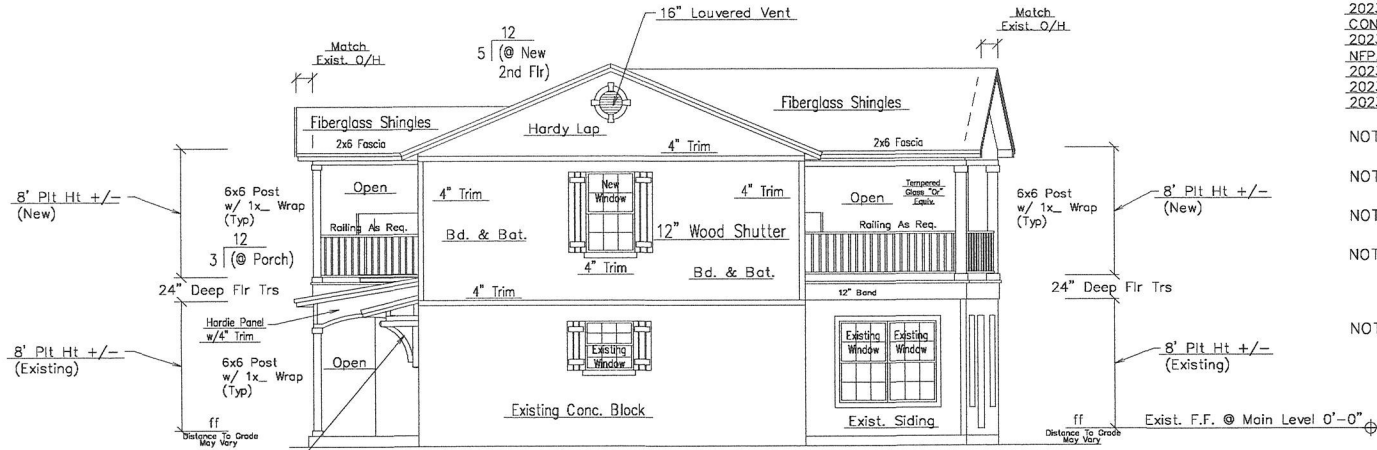
All Florida Custom Homes  
 AF

THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SIMILARITIES TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC. AND ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

NOTE: Match All Materials, Pitches, Overhangs, & Fascia's To Give The Appearance Of Being An Original Part Of The Core Structure.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE I/ BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



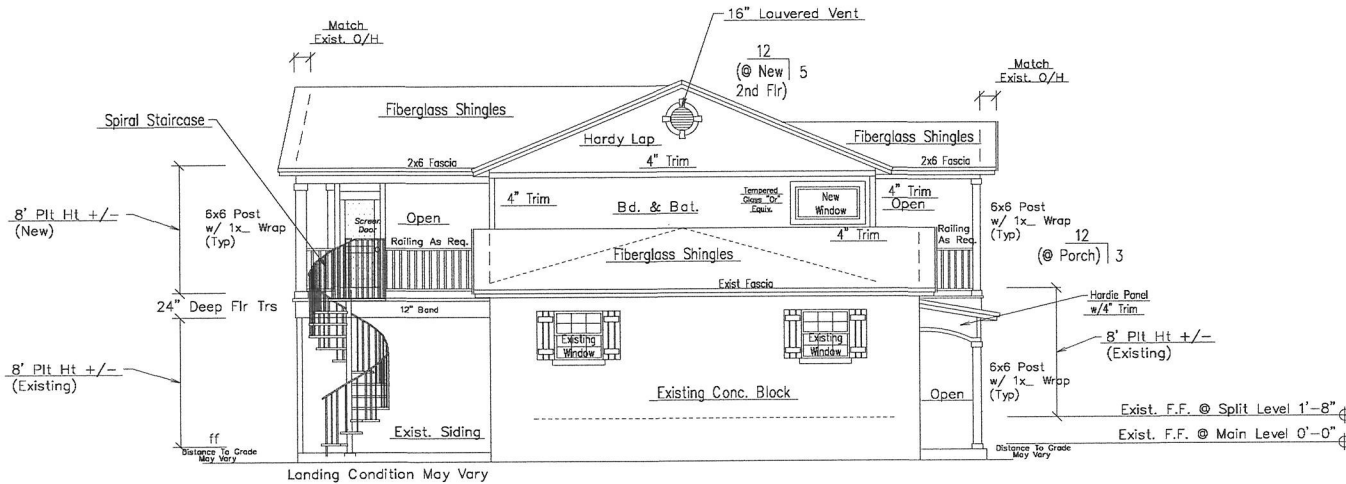
## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

(As Required)  
 (See Roof Plan For Ventilation Calculations)  
 (See Sheet #11)

Awning Eyebrow @ Garage Door w/ Corbels & Metal Roof (See Detail Sht #9)



## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SIMILARITIES TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC. AND, ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

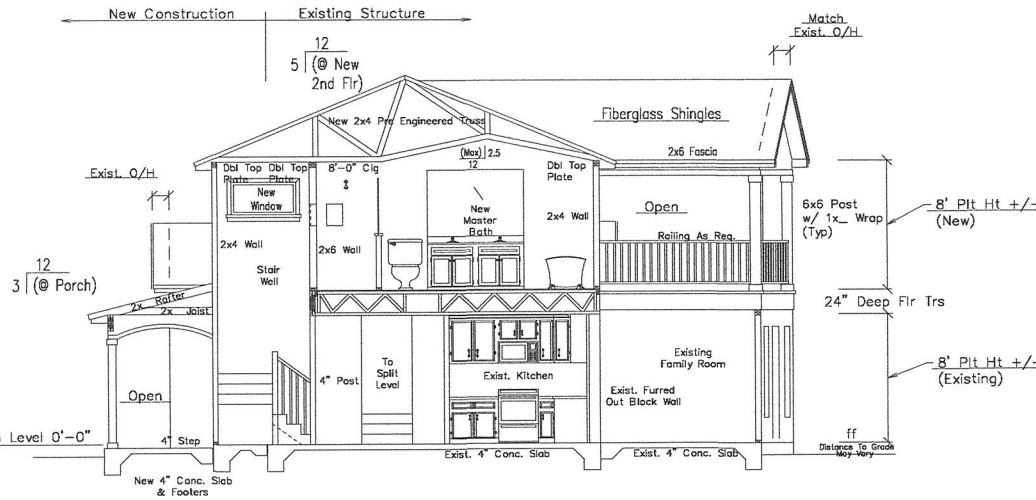
NOTE: Match All Materials, Pitches, Overhangs, & Fascia's To Give The Appearance Of Being An Original Part Of The Core Structure.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

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 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

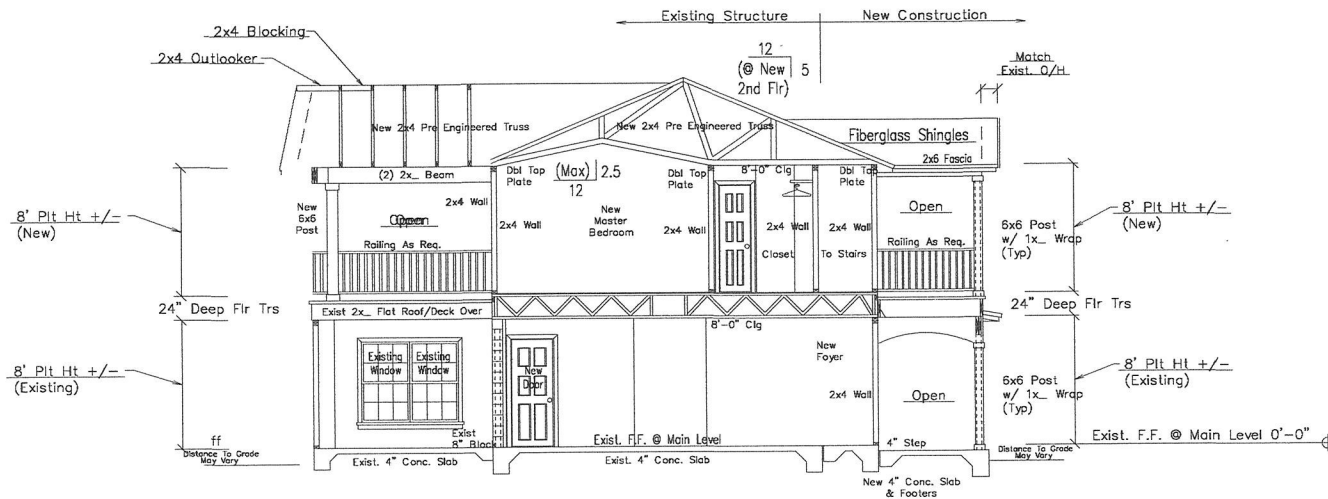
NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

(As Required)  
 (See Roof Plan For Ventilation Calculations)  
 (See Sheet #11)



**SECTION B-B**

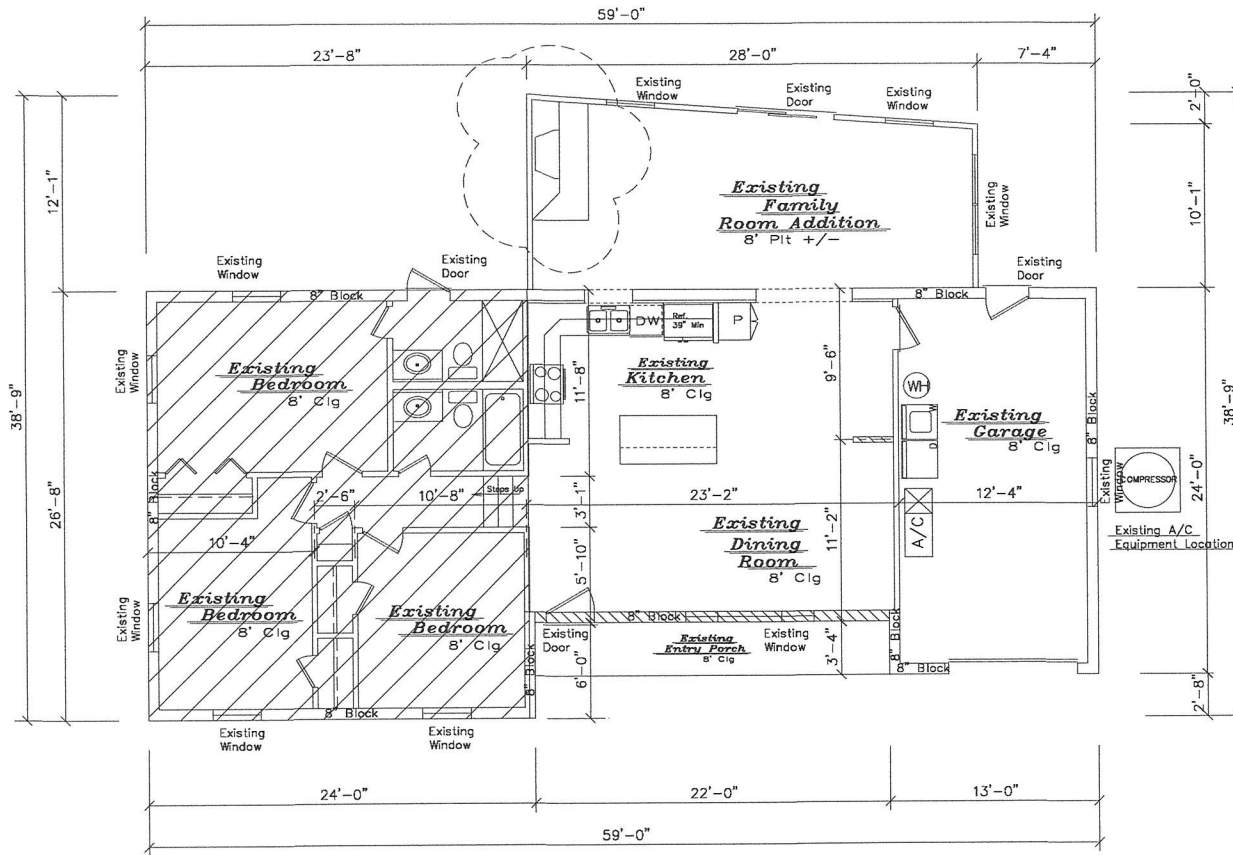
SCALE: 1/4" = 1'-0"



**SECTION C-C**

SCALE: 1/4" = 1'-0"

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## DEMO/EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
 CONSTRUCTION, 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.

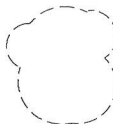
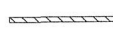

NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.

NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.

NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.

NOTE: See Bldr f/ All Floor & Ceiling Finishes © All Exterior Spaces Not Specified.

### Legend

-  Clouded Area Represents Existing Fireplace To Be Removed
-  2x4 Walls/Space To Be Removed
-  Shaded Area Represents Split Level Heated Space To Remain As Is

### Existing Square Footage

EXISTING HEATED: 1064  
 EXISTING GARAGE: 300  
 EXISTING ENTRY: 74  
 EXISTING ADDITION: 314

EXISTING TOTAL: 1752 ♂

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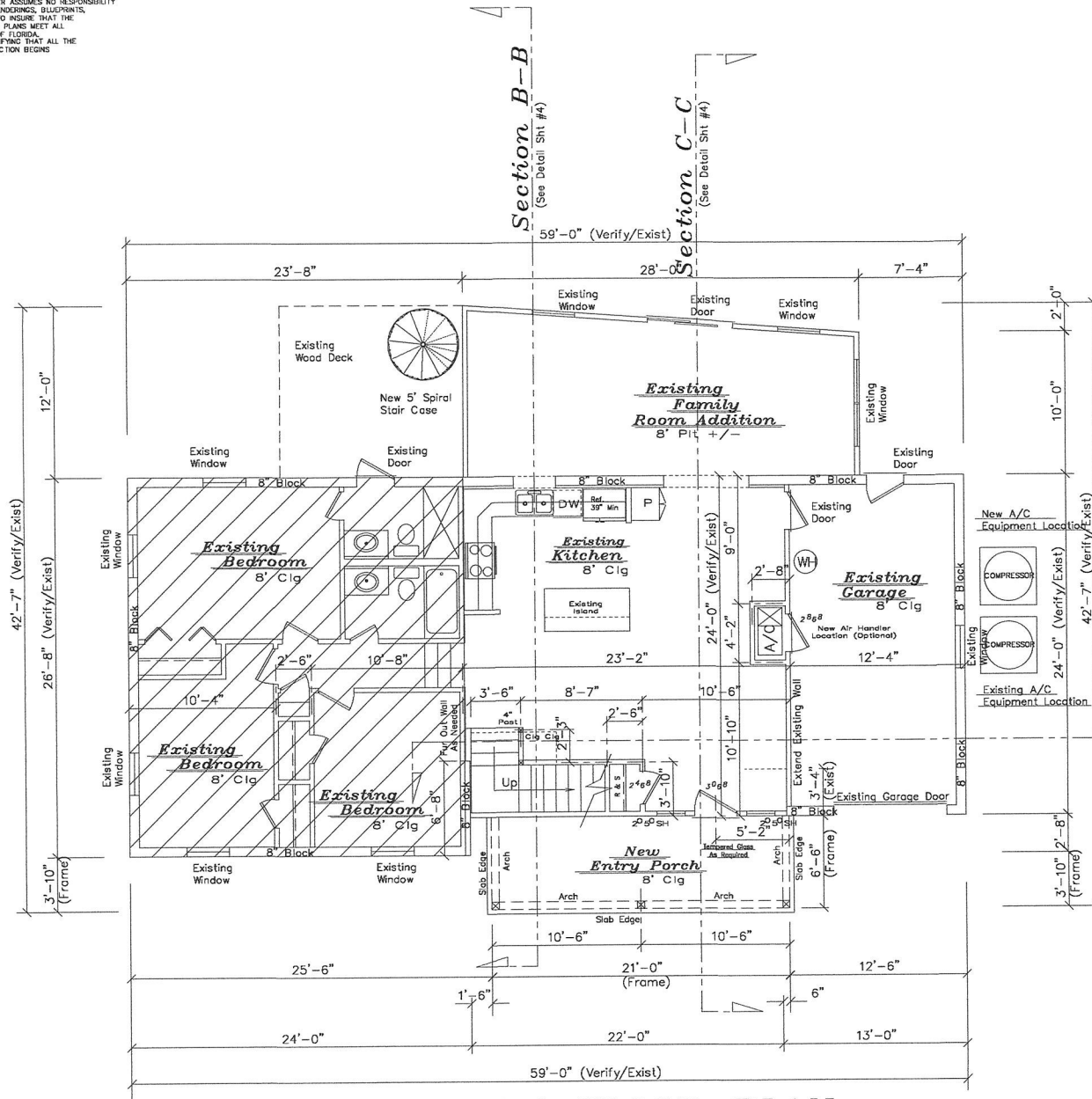
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 Jacksonville Bch, FL  
 32050  
 Job# 24004

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 Fax 904-292-1794

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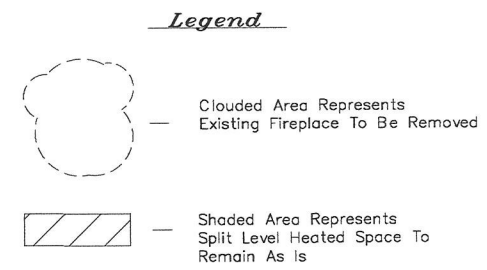

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**NEW 1st FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
 CONSTRUCTION, 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70, 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

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 NOTE: See Bldr f/ All Floor & Ceiling Finishes © All Exterior Spaces Not Specified.



**Section A-A**  
(See Detail Sht #2)

**New Square Footage**

<b>EXISTING HEATED:</b>	<b>1064</b>
<b>EXISTING GARAGE:</b>	<b>300</b>
<b>EXISTING ENTRY:</b>	<b>74</b>
<b>EXISTING ADDITION:</b>	<b>314</b>
<b>NEW 1st FLR ADDITION:</b>	<b>74</b>
<b>NEW 1st FLR HEATED TOTAL:</b>	<b>1138</b>
<b>NEW ENTRY PORCH:</b>	<b>133</b>
<b>NEW 2nd FLOOR:</b>	<b>791</b>
<b>NEW 2nd FLR COVERED PORCH:</b>	<b>310</b>
<b>NEW 2nd FLR BALCONY:</b>	<b>68</b>
<b>NEW TOTAL:</b>	<b>3054</b> Ⓜ

Volume: 9,104 C.F. 1st Flr  
791 C.F. 2nd Flr

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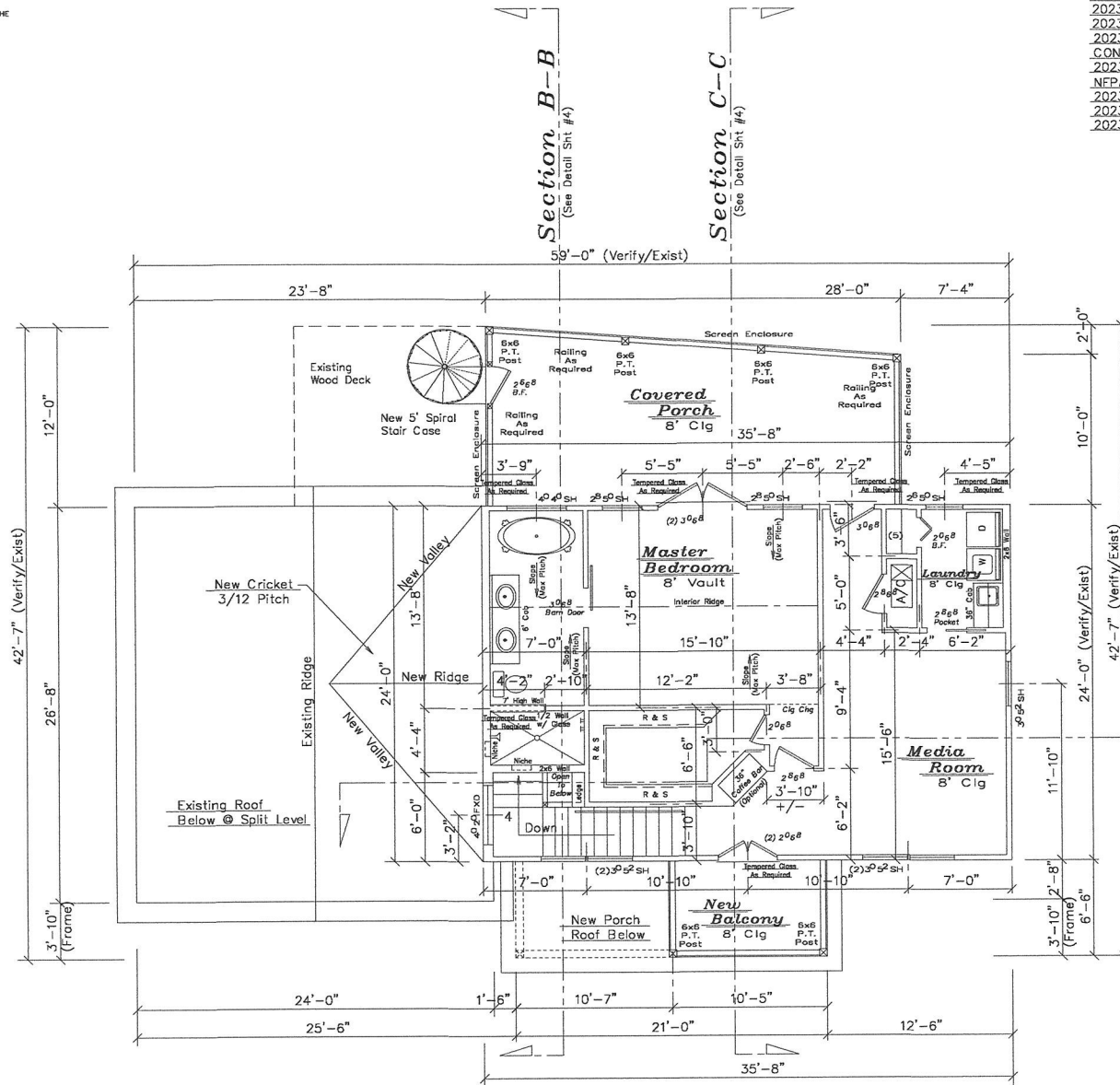
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Jacksonville Bch, Fl  
32050  
Job# 24004

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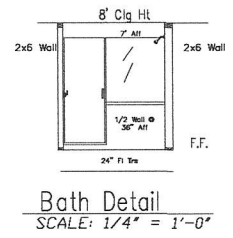
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**NEW 2nd FLR PLAN**  
SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE - RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

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- NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.
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- NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



**Section A-A**  
(See Detail Sht #2)

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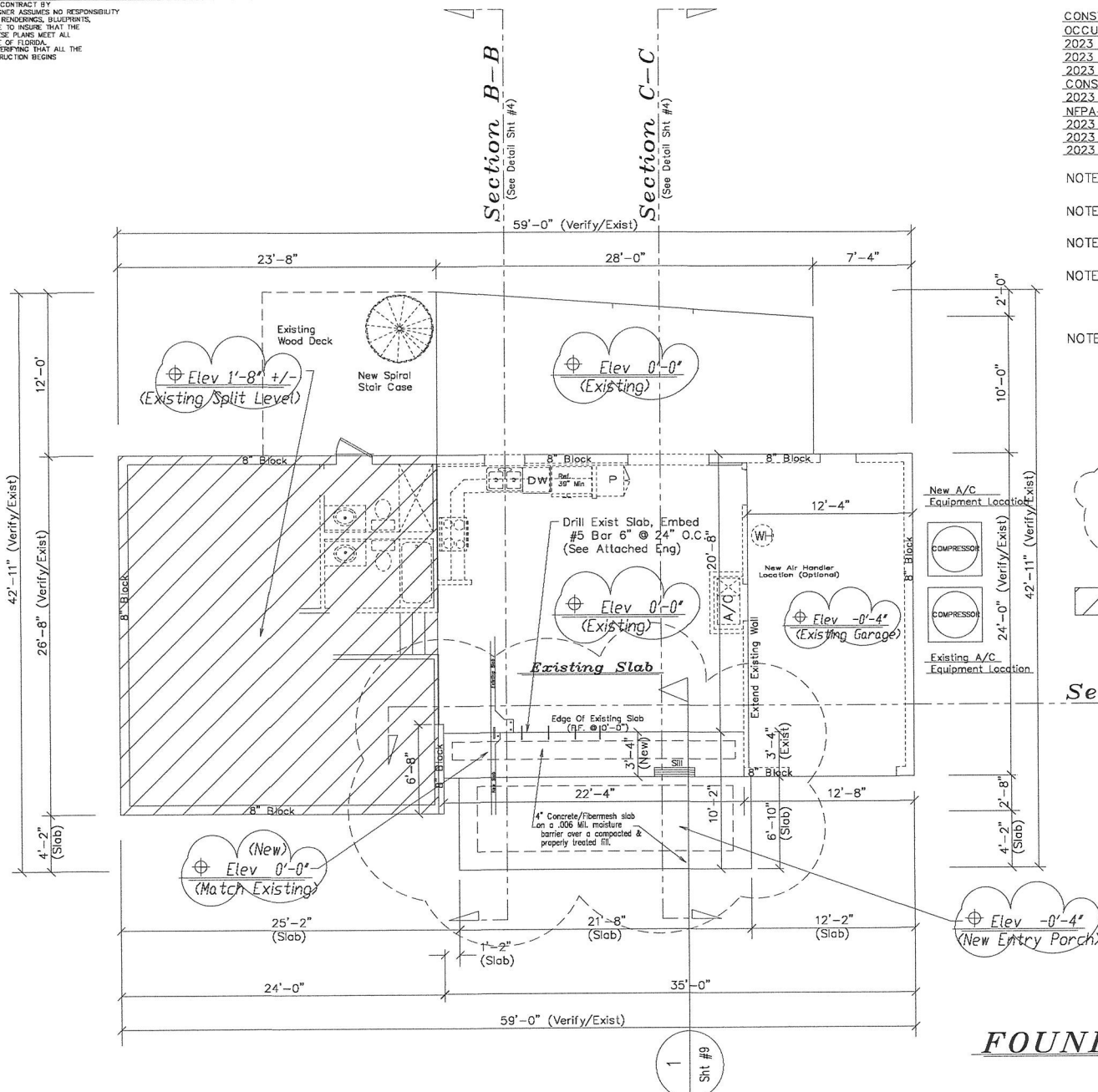
**Niko & Emily Costas**  
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CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
 CONSTRUCTION, 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NEPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
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 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

**Legend**

- Clouded Area Represents New Concrete Slabs to Accommodate The New Addition
- Shaded Area Represents Split Level Heated Space To Remain As Is

**Section A-A**  
 (See Detail Sht #2)

**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

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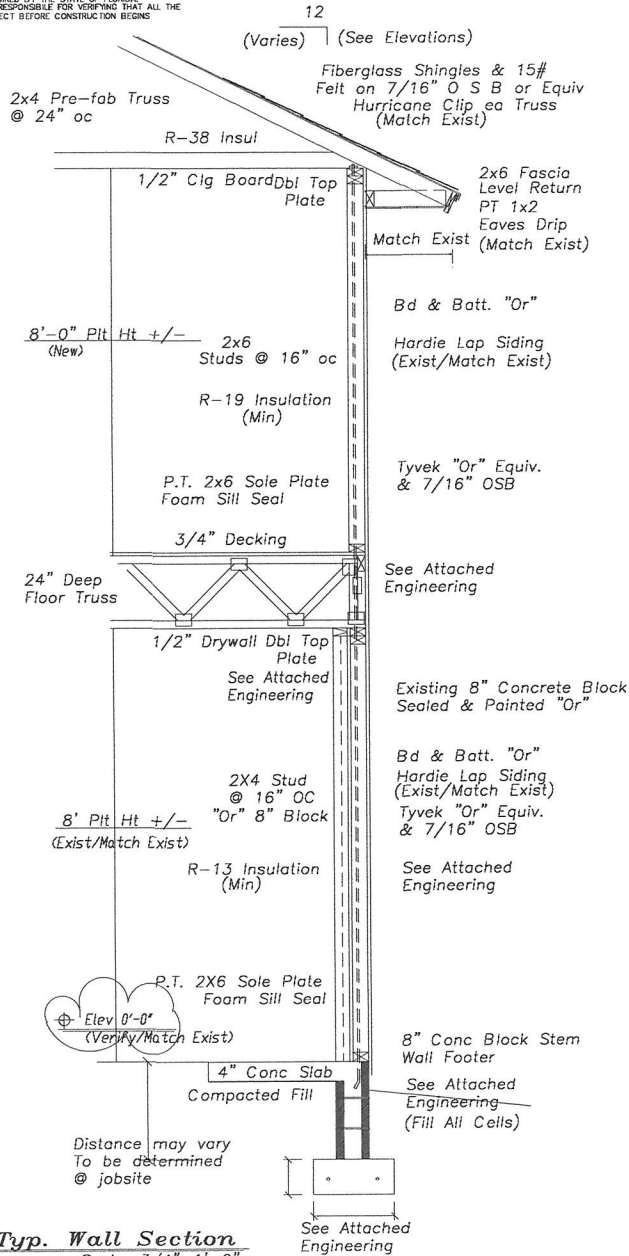
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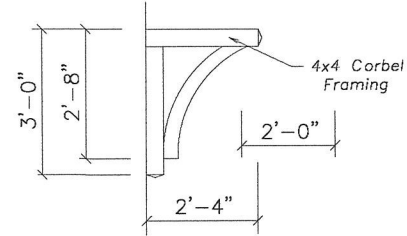
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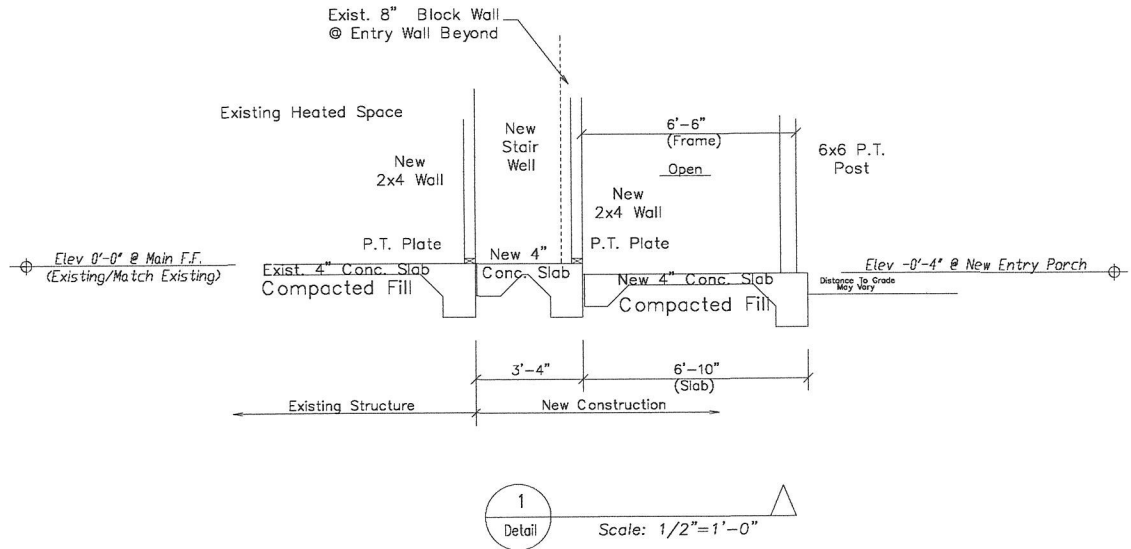
**Typ. Wall Section**  
Scale: 3/4"=1'-0"

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- NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

CONSTRUCTION TYPE: Type 5B  
OCCUPANCY CLASS: Group R-3  
2023 FLORIDA BUILDING CODE 8th EDITION  
2023 FLORIDA BUILDING CODE - RESIDENTIAL EXISTING 8th EDITION  
2023 FLORIDA ACCESSIBILITY CODE I/ BUILDING CONSTRUCTION 2023 ADA/ADAAG/FAA/FAA  
2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
NFPA-70 2020 NATIONAL ELECTRIC CODE  
2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL



**Corbel Detail**  
Scale: 3/4"=1'-0"





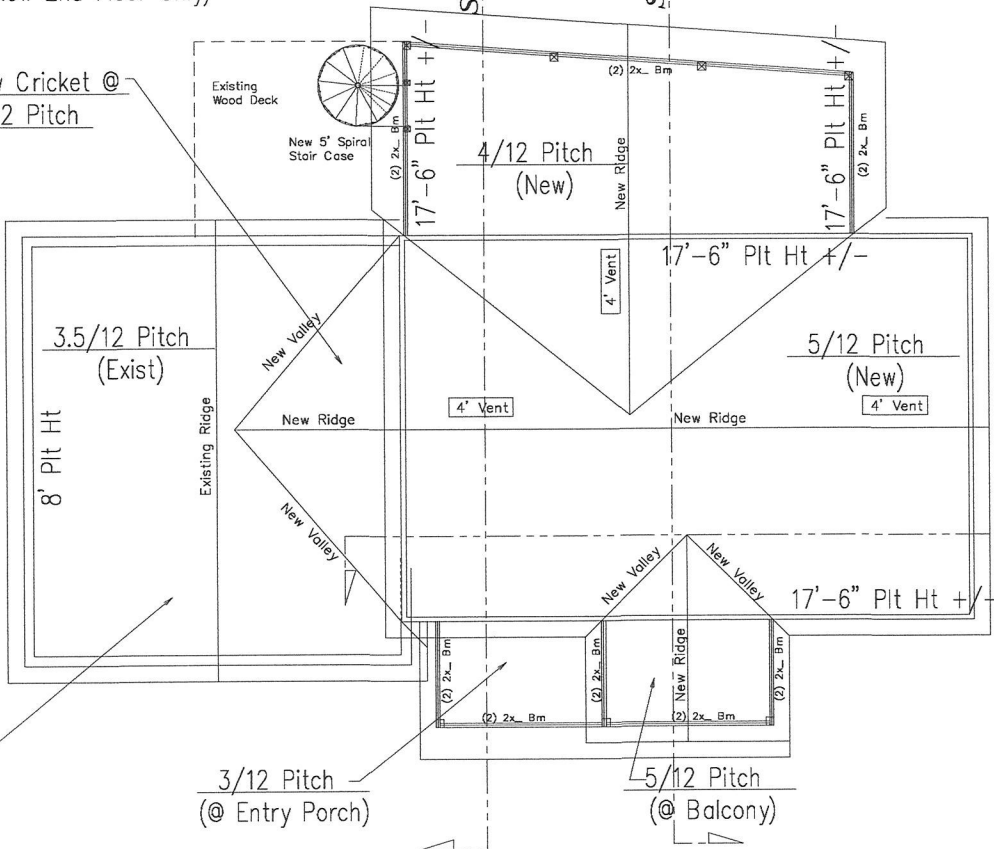
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NOTE: Soffit Venting Calcs Based On Kaycan, Ltd. Product.

NOTE: Ridge Venting Calcs Based On Marco Ind. LP2 Vent.

2nd Floor Roof Area 1669 Sq. Ft. Total  
Divided by 300= 5.56 Linear Feet.  
(New 2nd Floor Only)

New Cricket @  
3/12 Pitch



Existing 1st Floor Roof  
@ Split Level

3/12 Pitch  
(@ Entry Porch)

5/12 Pitch  
(@ Balcony)

# New Roof Plan

SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
OCCUPANCY CLASS: Group R-3  
2023 FLORIDA BUILDING CODE 8th EDITION  
2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING  
CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
NFPA-70 2020 NATIONAL ELECTRIC CODE  
2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

Note: Attic Ventilation Not Required  
When Using Spray In Foam  
(See Bldr For Specific Roof Material)

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

## Section A-A

(See Detail Sht #2)

## Roof Data (Linear Feet)

Eave Line	68'
Gable Line	112'
Ridge Line	78'
Valley Line	64'

(New 2nd Floor)

New 2nd Floor Roof Area 1669 Sq. Ft., 1669 x 144 Divided By 300 = 802 Sq. in. Net Free, 802 Divided by 2 = 401, (3) 4' Off Ridge Vent. 432 Sq Ft, 370 Sq. in. Soffits, 42 L.F. Of Soffit Venting Required.

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NOTE: All Duct Sizing Shall Be In Accordance w/ ACCA, Manual "D". Provide Duct Testing in Accordance w/ ASHRAE Standard 152. All Ducts & Air Handlers Not Located in Conditioned Space Shall Be Tested To Be "Substantially" Leak Free.

NOTE: Smoke Detectors Shall Be Installed According To Florida Building Code, 2023 8th Edition.















NOTE: All Electrical Wiring To Be In Accordance With 2020 NEC. Provide Arc-Fault Circuit Interruptors In All Rooms. All 120V, Single Phase, 15 & 20 Amp Branch Circuits Supplying Outlets Shall Be Protected By AFCI FBC R3902.12, Per Article 210-12.

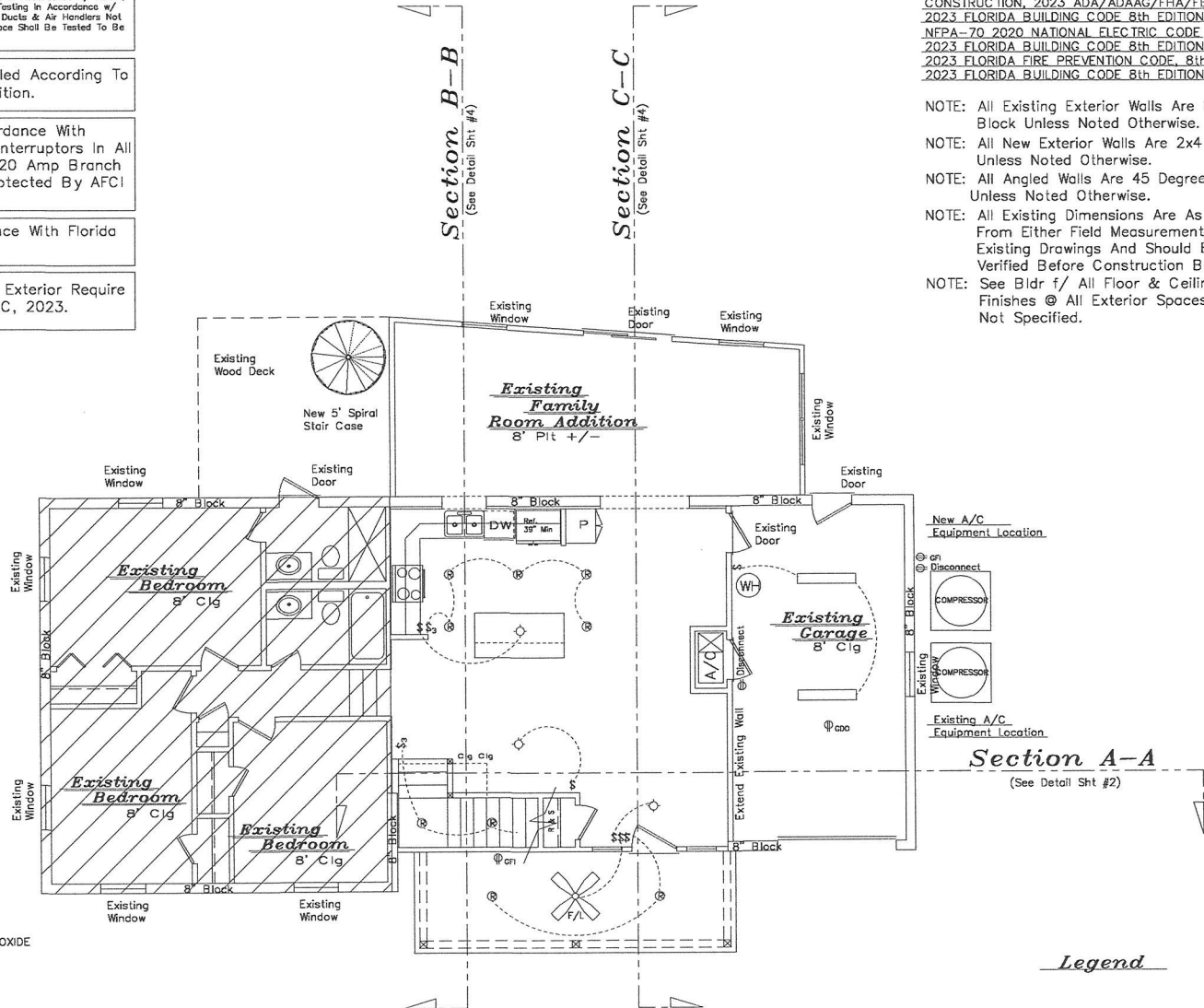
NOTE: All Electrical Wiring To Be In Accordance With Florida Building Code, 2023 8th Edition.

NOTE: All Permanent Light Fixtures, Interior & Exterior Require CFL/LED Lamps As Per R404.1 & R202 FBC, 2023.

NOTE: Stack Switches As Required

**ELECTRICAL LEGEND**

-  CEILING FAN
-  FLOURESCENT LIGHT
-  LIGHT
-  OUTLET
-  GFI
-  GROUND FAULT INTERRUPT (All Waterproof)
-  EXHAUST FAN/LIGHT
-  FAN ONLY
-  SWITCH
-  THREEWAY
-  FOURWAY
-  EYEBALL LIGHT
-  RECESSED LIGHT
-  SCONCE
-  PRE-WIRE & BRACE
-  PHONE
-  DATA/LAN
-  CABLE
-  SMOKE DETECTOR/CARBON MONOXIDE
-  FLOOD LIGHT
-  AUTOMOBILE CHARGER
-  COMPRESSOR



**1st Flr Electrical Plan**

SCALE: 1/4" = 1'-0"

**Legend**  
 Shaded Area Represents Split Level Heated Space To Remain As Is

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
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 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
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 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

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 (904)384-8966  
 Date: 12/20/25 | Plan 791 | Sheet 12 of 14

Niko & Emily Costas  
 1601 6th Ave. N.  
 Jacksonville Bch, FL  
 32050  
 Job#: 24004

Office 904-292-0018  
 Fax 904-292-1794

**All Florida Custom Homes**



THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SIMILARITIES TO ANY DRAWINGS, RENDERINGS, BLUEPRINTS, ETC. AND, ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

NOTE: All Duct Sizing Shall Be In Accordance w/ ACCA Manual "D". Provide Duct Testing In Accordance w/ ASHRAE Standard 152. All Ducts & Air Handlers Not Located In Conditioned Space Shall Be Tested To Be "Substantially" Leak Free.

NOTE: Smoke Detectors Shall Be Installed According To Florida Building Code, 2023 8th Edition.

NOTE: All Electrical Wiring To Be In Accordance With 2020 NEC. Provide Arc-Fault Circuit Interruptors In All Rooms. All 120V, Single Phase, 15 & 20 Amp Branch Circuits Supplying Outlets Shall Be Protected By AFCI FBC R3902.12, Per Article 210-12.

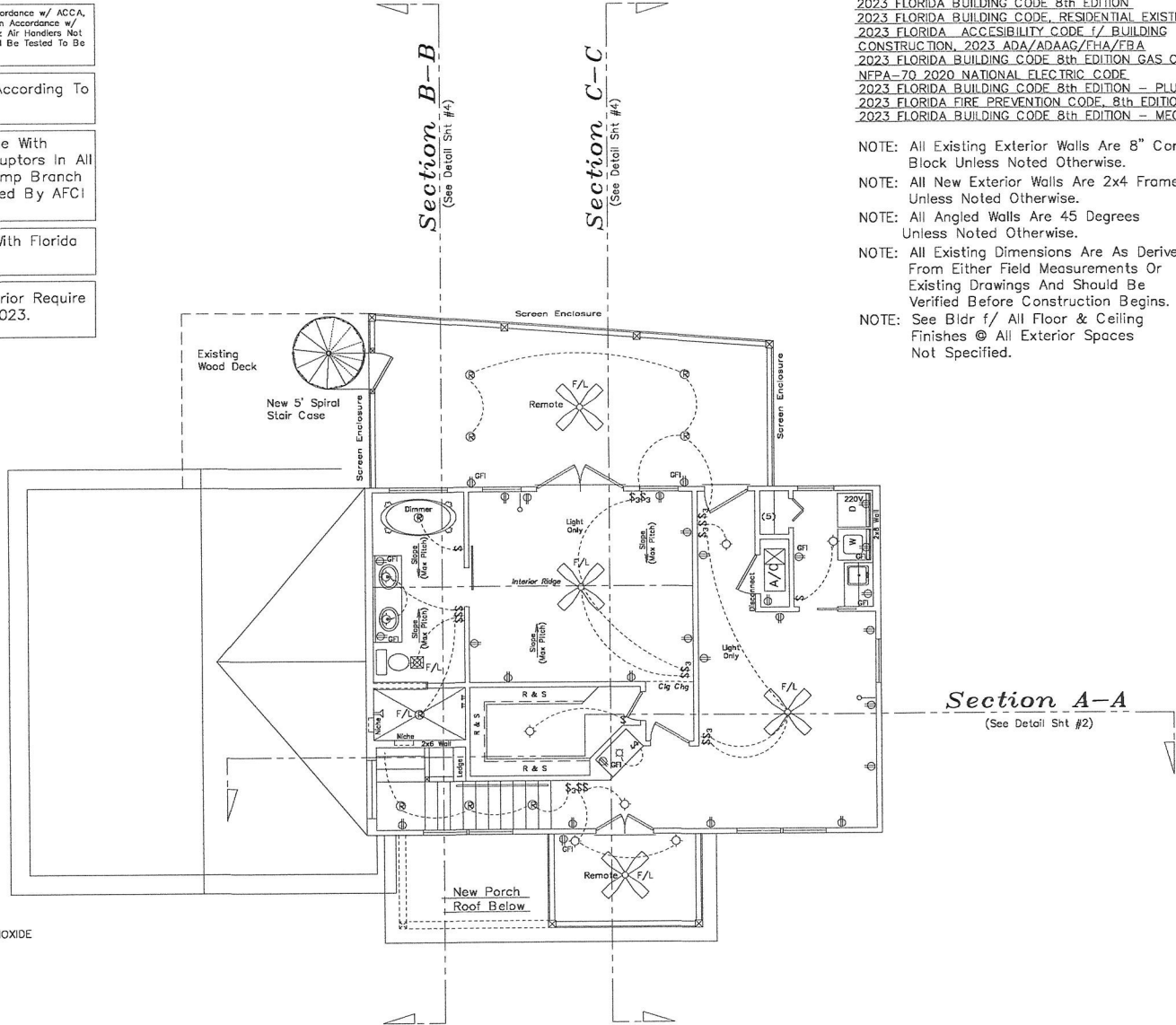
NOTE: All Electrical Wiring To Be In Accordance With Florida Building Code, 2023 8th Edition.

NOTE: All Permanent Light Fixtures, Interior & Exterior Require CFL/LED Lamps As Per R404.1 & R202 FBC, 2023.

NOTE: Stack Switches As Required

### ELECTRICAL LEGEND

	CEILING FAN
	FLOURESCENT LIGHT
	LIGHT
	OUTLET
	GROUND FAULT INTERRUPT (All Waterproof)
	EXHAUST FAN/LIGHT
	FAN ONLY
	SWITCH
	THREEWAY
	FOURWAY
	EYEBALL LIGHT
	RECESSED LIGHT
	SCONCE
	PRE-WIRE & BRACE
	PHONE
	DATA/LAN
	CABLE
	SMOKE DETECTOR/CARBON MONOXIDE
	FLOOD LIGHT
	AUTOMOBILE CHARGER
	COMPRESSOR



CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE, RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE f/ BUILDING CONSTRUCTION 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr f/ All Floor & Ceiling Finishes © All Exterior Spaces Not Specified.

**2nd Flr Electrical Plan**  
 SCALE: 1/4" = 1'-0"

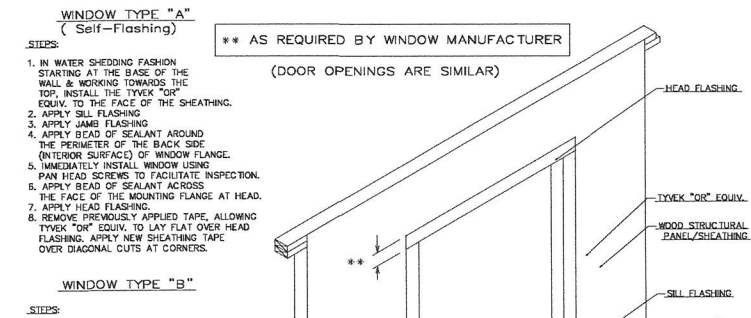
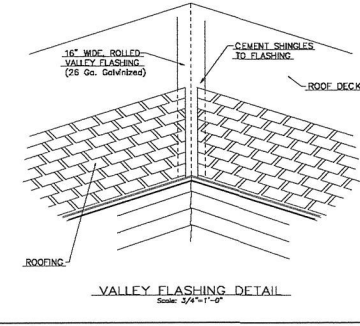
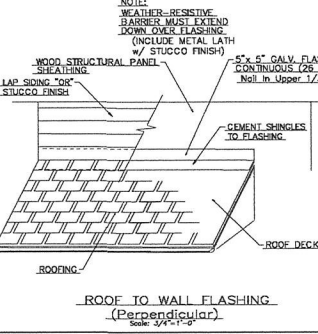
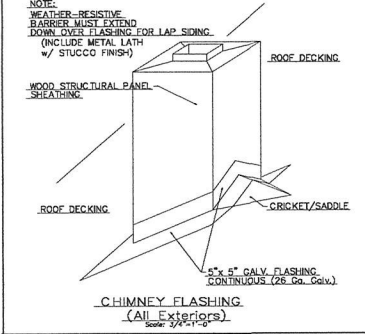
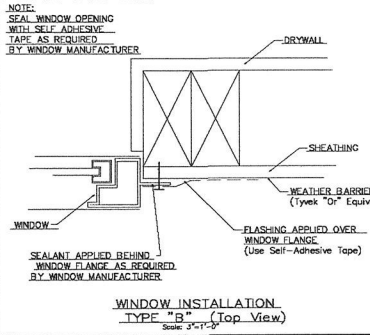
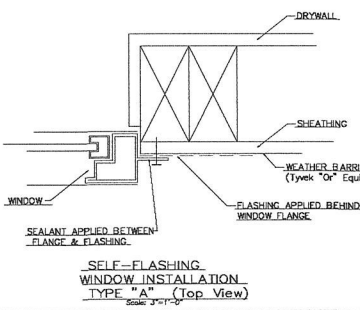
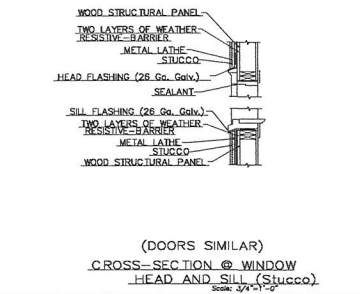
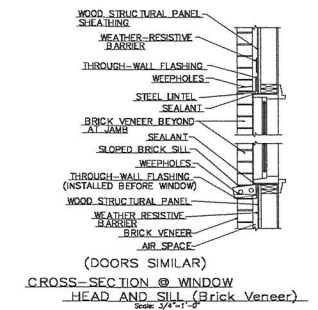
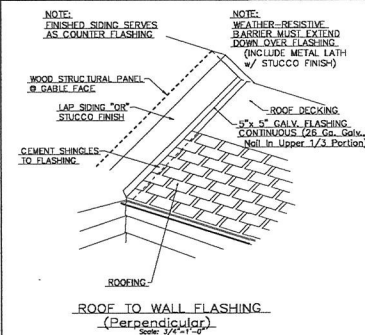
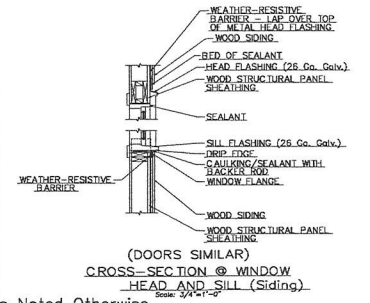
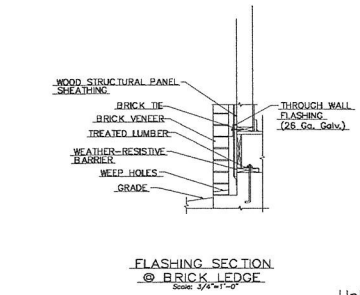
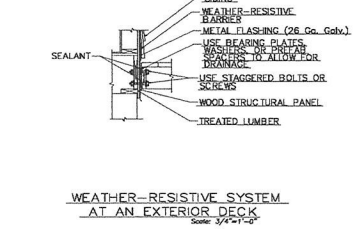
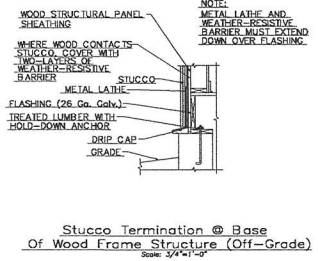
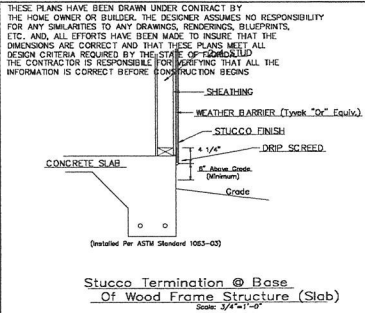
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 Date: 12/20/25 Plan 791 Sheet 13 of 14

Niko & Emily Costas  
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 Jacksonville Bch, FL  
 32050 Job# 24004

Office  
 904-292-0018  
 Fax  
 904-292-1794

**All Florida Custom Homes**



NOTE:  
Designed in Accordance With The Florida Building Code, 2023 Eighth Edition, Rev. Dec. 31, 2023

**Note:**  
See Attached Engineering for Exact Structural Specifications.

**FLASHING DETAILS**  
SCALE: VARIES



# VARIANCE APPLICATION

BOA No: 26-100012  
HEARING DATE 3/17/20

This form is intended to be submitted along with all required documents for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code. Planning and Development Department staff will evaluate an application for a variance for sufficiency within ten (10) days of receipt. If the application is found to be complete and sufficient, the Jacksonville Beach Board of Adjustment, at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, to scale (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of \$500.00 (due at the time of application submittal).
7. Completed application.

### APPLICANT INFORMATION

**Applicant Name:** Emily Costas (Dougherty) **Telephone:** 904 861 8128  
**Mailing Address:** 1601 6th Ave N **E-Mail:** niko@rteam.net  
Jacksonville Beach, FL 32250  
**Agent Name:** John Raymer (contractor) **Telephone:** 904-838-8822  
**Mailing Address:** \_\_\_\_\_ **E-Mail:** raymer2001@msn.com  
 \_\_\_\_\_  
**Landowner Name:** Emily Costas (Dougherty) **Telephone:** 904 718 1058  
**Mailing Address:** 1601 6th Ave N **E-Mail:** emcostas22@gmail.com  
Jacksonville Beach, FL 32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 1601 6th Ave N  
 Legal description of property (Attach copy of deed): lot 7 Block 1 Pine Grove unit 4  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

This application is requesting to use side setbacks of existing home (east side setback 8'1" and west side setback 7.7') lieu of the current RS-1 zoning rules. Front and rear setbacks will conform.

<b>THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE</b>	
<b>CURRENT ZONING CLASSIFICATION:</b> <u>RS-1</u>	<b>FLOOD ZONE:</b> _____
<b>CODE SECTION (s):</b> _____	
_____	
_____	
_____	
_____	

# VARIANCE APPLICATION STANDARDS AND CONDITIONS

BOA No. \_\_\_\_\_

**Section 34-566**

**Purpose.** Variances are deviations from the terms of the LDC which would not be contrary to the public interest when owing to special circumstances or conditions, the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship. Variances shall not be inconsistent with the Comprehensive Plan. It is understood that the granting of a variance shall not create a precedence for future requests.

**Section 34-572.**

**Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following standards have been met. To assist the Board in making a finding, please complete the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
(a) There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.	yes	The home was built before the new zoning standards and current setbacks were not met. Adding the second floor will use existing home setbacks for sides. front and rear setbacks will be conforming to RS-1 zoning
(b) The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.	yes	Applicant did not build the home, home was built before current RS-1 zoning rules
(c) There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.	yes	Several parcels in this area have had similar additions
(d) Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.	yes	Strict enforcement would cause un-due hardship for my growing family
(e) The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.	yes	
(f) The variance(s) request, if granted, will not result in the creation of a public nuisance.	yes	



# VARIANCE APPLICATION AFFIDAVIT

BOA No. \_\_\_\_\_

## AFFIDAVIT

I, Emily Costas (Dougherty), being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

[Handwritten Signature]

Emily Costas (Dougherty)

Jan 23, 2026

APPLICANT SIGNATURE

PRINT APPLICANT NAME

DATE

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this \_\_\_\_\_ day of Jan 23rd, 20 26, by Emily Costas, who is personally known to me or produced \_\_\_\_\_ as identification.

[Handwritten Signature]  
NOTARY PUBLIC SIGNATURE



Josh Harrison  
PRINT NOTARY NAME

(Affix Notary Seal Above)

Ordered By:



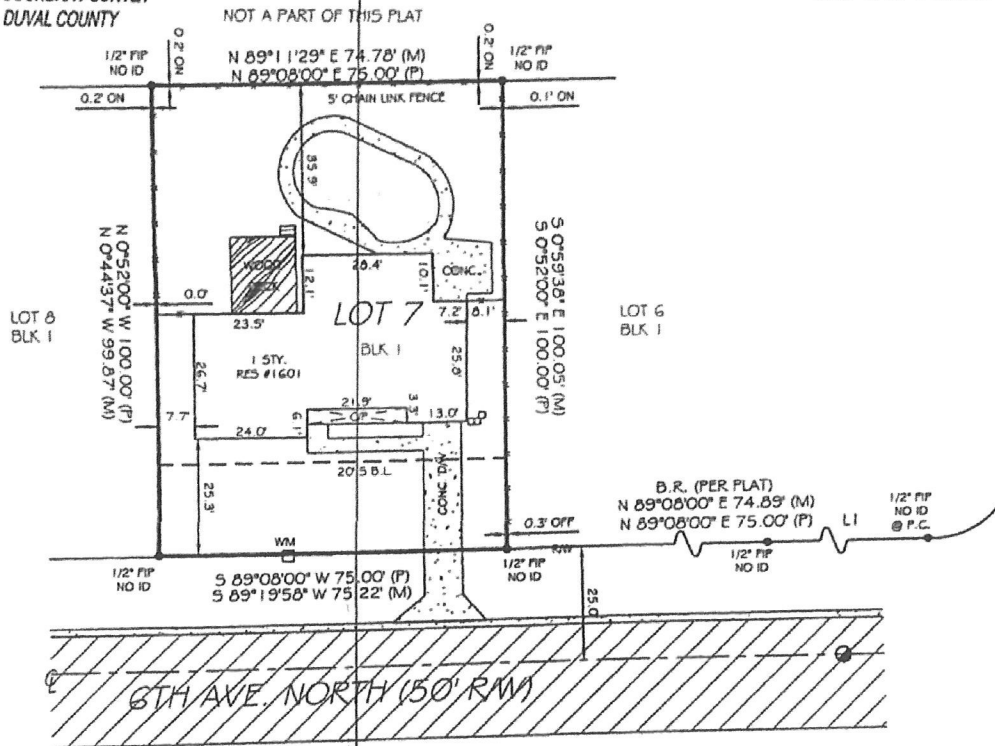
PROPERTY ADDRESS: 1601 6th AVENUE N. JACKSONVILLE BEACH, Florida 32250

SURVEY NUMBER: 1107 0589

FIELD WORK DATE: 7/12/2011 REVISION DATE(S): Rev 0 7/13/2011

FL 1107.0589  
BOUNDARY SURVEY  
DUVAL COUNTY

TABLE:  
L1 N 89°08'00" E 330.00' (P)  
N 89°15'51" E 329.68' (M)

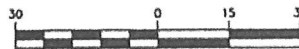


I hereby certify that the section of Survey hereon described property has been made under oath, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum requirements set forth by the Florida Board of Professional Land Surveyors as described in Chapter 5J-17 of the Florida Administrative Code.



KEITH A. STEPHENSON  
State of Florida Professional Surveyor and Mapper  
License No. 6521

NOTES:  
SETBACK INFORMATION SHOWN ON PLAT, NOT VERIFIED  
LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER  
FENCE OWNERSHIP NOT DETERMINED



GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.  
Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

POINTS OF INTEREST: NONE VISIBLE

FLOOD INFORMATION:

By performing a search at [www.fema.gov](http://www.fema.gov), the property appears to be located in zone X. This Property was found in CITY OF JACKSONVILLE BEACH, community number 120078, dated 04/17/89.

CLIENT NUMBER: DATE: 7/13/2011

BUYER: JAMES M. AND JEAN D. SCHREIBER

SELLER:

CERTIFIED TO: JAMES M. AND JEAN D. SCHREIBER; NASSAU TITLE COMPANY; COMMONWEALTH ALND TITLE INSURANCE COMPANY; PRIMELENDING, A PLAINSCAPITAL COMPANY

This is page 1 of 2 and is not valid without all pages.



AFFILIATE MEMBERS



www.surveystars.com  
P 865-735-1916 • F 865-744-2882  
12220 Towne Lake Drive, Suite 55 • Ft. Myers, FL 33915

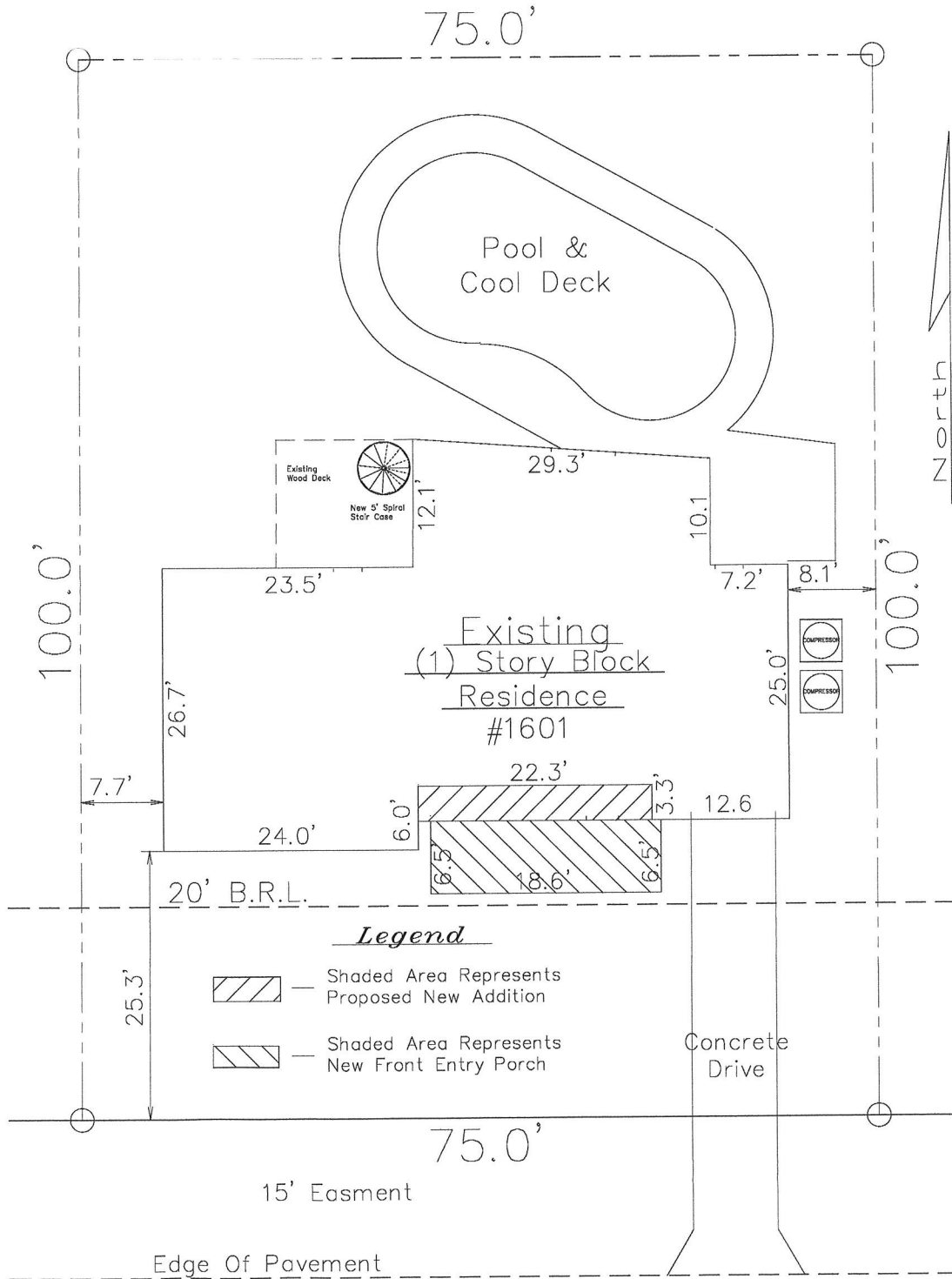
Map Showing Lot 7 Block 1 Pine Grove, Unit 4  
 Duval County, Florida, As Per The Public  
 Records Of Duval County, Florida.  
 (Addendum to Original)

Scale: 1"=10'

Date: December 31, 2025

Lot Coverage

Total Lot Area	—————	7,500 S.F.
Existing Residence	—————	1752 S.F.
New Front Porch	—————	133 S.F.
Concrete Drive	—————	354 S.F.
Pool & Cool Deck	—————	1050 S.F.



6th Avenue North  
 50' Right Of Way

Prepared by:  
Laura Riebsame  
All Florida Title Services, Inc.  
4417 Beach Boulevard, Suite 105  
Jacksonville, Florida 32207  
File Number: 34546  
Contract Sales Price: \$357,500.00

## General Warranty Deed

Made this June 11, 2019 A.D. By **James M. Schreiber and Jean Dunbar Schreiber f/k/a Jean T. Dunbar**, 1802 Highland Dr., Fernandina Beach, Florida 32034, hereinafter called the grantor, to **Emily Dougherty**, whose post office address is: 1601 N. 6th Avenue, Jacksonville Beach, Florida 32250, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

**Lot 7, Block 1, Pine Grove Unit No. 4, according to plat thereof as recorded in Plat Book 19, pages 44 and 44A, of the current public records of Duval County, Florida.**

**Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.**

Parcel ID Number: 177903-0000

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

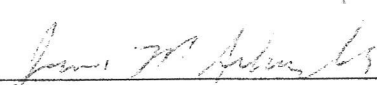
**To Have and to Hold**, the same in fee simple forever.

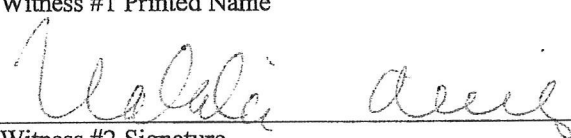
**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2018.

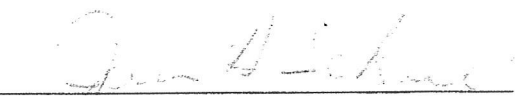
In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

  
\_\_\_\_\_  
Witness #1 Signature **LAURA RIEBSAME**

  
\_\_\_\_\_  
**James M. Schreiber**  
Address: 1802 Highland Dr., Fernandina Beach,  
Florida 32034

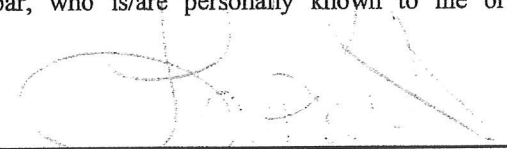
\_\_\_\_\_  
Witness #1 Printed Name  
  
\_\_\_\_\_  
Witness #2 Signature  
**NATALIE ARIAS**

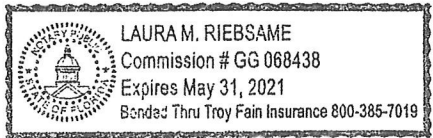
  
\_\_\_\_\_  
**Jean Dunbar Schreiber f/k/a Jean T. Dunbar**  
Address: 1802 Highland Dr., Fernandina Beach,  
Florida 32034

\_\_\_\_\_  
Witness #2 Printed Name

State of Florida  
County of Duval

The foregoing instrument was acknowledged before me this 11th day of June, 2019, by James M. Schreiber and Jean Dunbar Schreiber f/k/a Jean T. Dunbar, who is/are personally known to me or who has produced FLID as identification.

  
\_\_\_\_\_  
Notary Public **LAURA RIEBSAME**  
Print Name:  
My Commission Expires: 5/31/21



THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY OMISSIONS TO ANY DRAWINGS, REVISIONS, BLUEPRINTS, ETC. AND ALL EFFORTS HAVE BEEN MADE TO INSURE THAT THE DRAWINGS ARE CORRECT AND THAT THESE PLANS MEET ALL DESIGN CRITERIA REQUIRED BY THE STATE OF FLORIDA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

Project Overview

- The Intended Goal In This Project Is To Add A New Second Floor To A Portion Of An Existing One Story, Split Level, Concrete Block Home.
1. Remove Roof Structure From The Entire 35' x 24' Lower Level, But Leave The Flat Roof Structure Over The Addition At The Rear Intact.
  2. Remove The Entire 22' Concrete Block Entry Wall At The Front. Pour New Concrete Slab To Expand The Heated Footprint & Add A New Front Porch Concrete Slab As Shown On The Foundation Page (Sheet 7).
  3. Frame A New Entry Wall As Shown On The New Floor Plan (Sheet 5) To Accomodate The New Front Door Location & New Stairs To Access The New 2nd Floor & Frame A New Post & Beam Front Porch With A Balcony As Shown On The 2nd Floor Plan (Sheet 6).
  4. Install A New Floor Truss System As Shown On The Floor Framing Plan (Sheet 8), Frame New 2nd Floor Walls, Deck Over And Frame A New Post & Beam Balcony Over The Existing Flat Roof Of The Addition At The Rear Of The Structure And Install New Pre Engineered Roof Trusses Over All New 2nd Floor Spaces As Shown On The Roof Plan (Sheet 10).

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA - ACCESSIBILITY CODE /Z/ BUILDING CONSTRUCTION - 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELEC TRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
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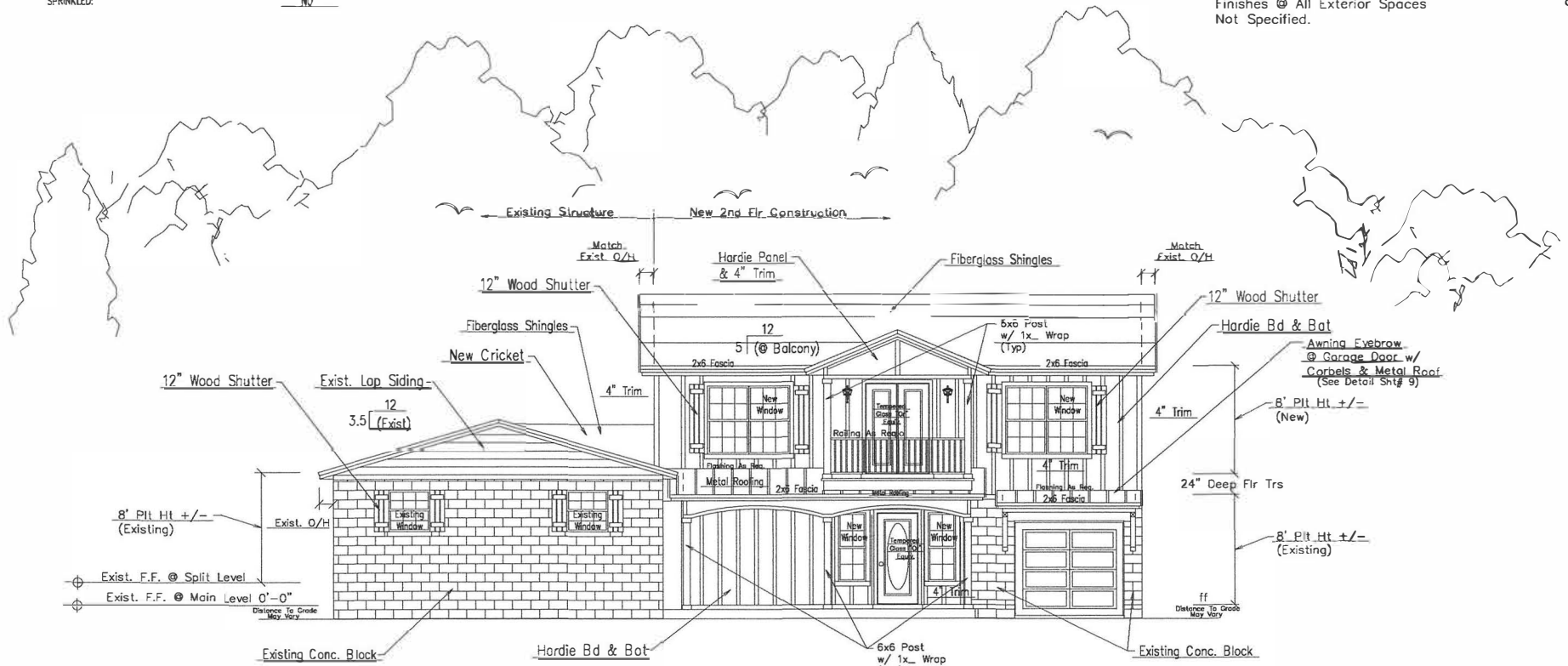
- NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
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 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

WIND ZONE INFORMATION

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE REQUIREMENTS OF SECTION 1600 OF THE 2023, 8th EDITION OF THE FLORIDA BUILDING CODE

TYPE OF CONSTRUCTION

OCCUPANCY:	<u>  R-3  </u>
TYPE OF CONSTRUCTION:	<u>  V-B  </u>
SPRINKLED:	<u>  NO  </u>



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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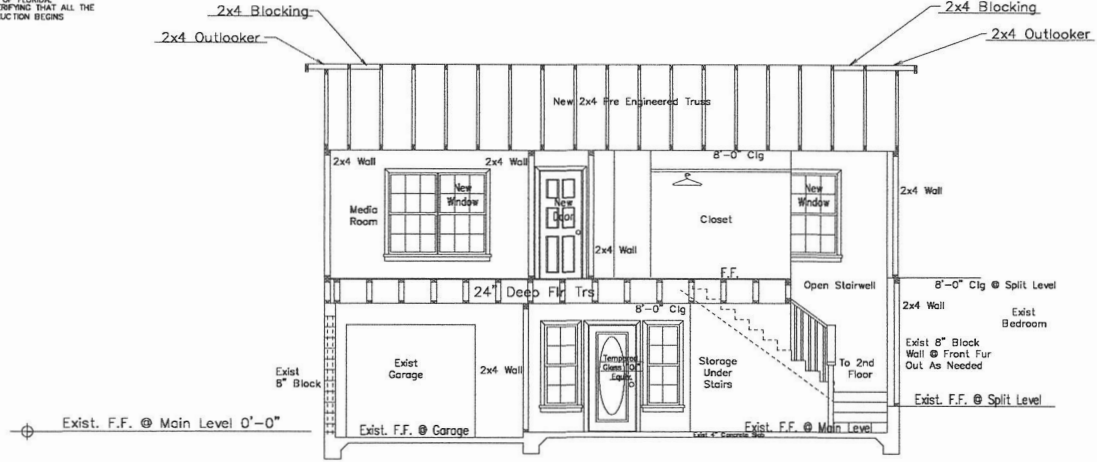
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 (904) 354-8056  
 Date: 12/20/25 Plan 791  
 Sheet 1 of 14

Niko & Emily Costas  
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 32050

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 904-292-0018  
 Fax  
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**SECTION A-A**

SCALE: 1/4" = 1'-0"

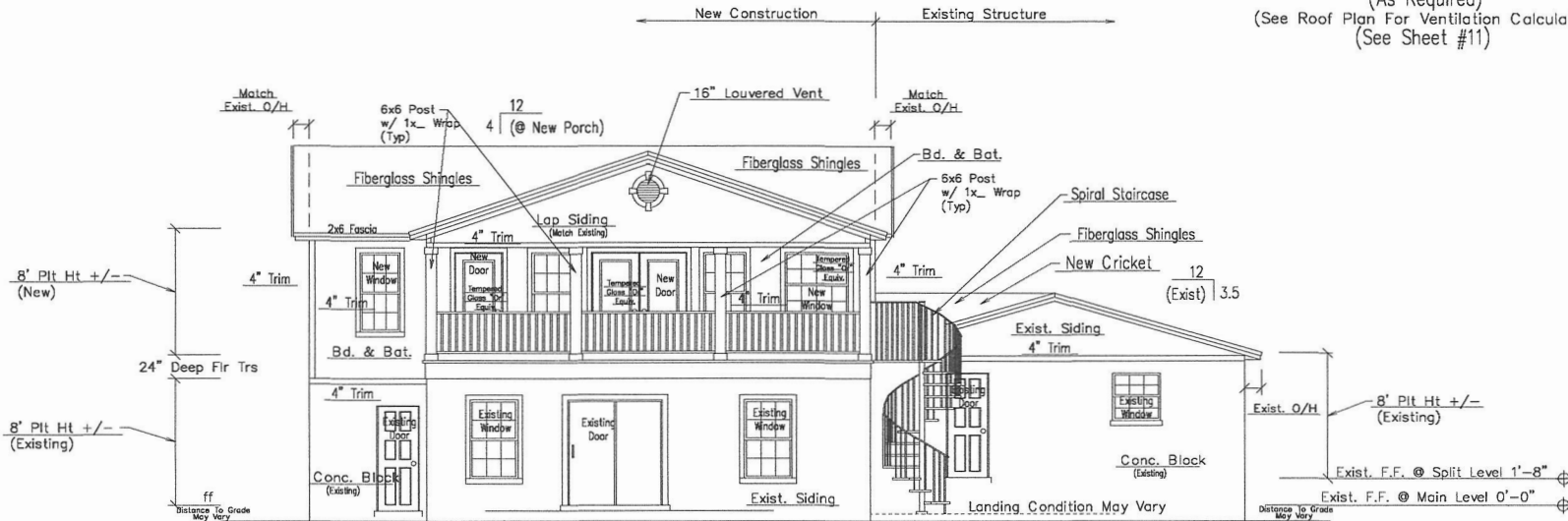
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 2023 FLORIDA BUILDING CODE, ACCESSIBILITY CODE I/F BUILDING CONSTRUCTION, 2023 ADA/ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
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 2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

- NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.
- NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.
- NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.
- NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.
- NOTE: See Bldr ?/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

NOTE: Match All Materials, Pitches, Overhangs, & Fascia's To Give The Appearance Of Being An Original Part Of The Core Structure.

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

(As Required)  
 (See Roof Plan For Ventilation Calculations)  
 (See Sheet #11)



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

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 (904)384-6366

Date: 12/20/25 Plan 791 Sheet 2 of 14

Niko & Emily Costas  
 1601 6th Ave. N.  
 Jacksonville, FL  
 32050 Job# 24004

Office 904-292-0018  
 Fax 904-292-1794

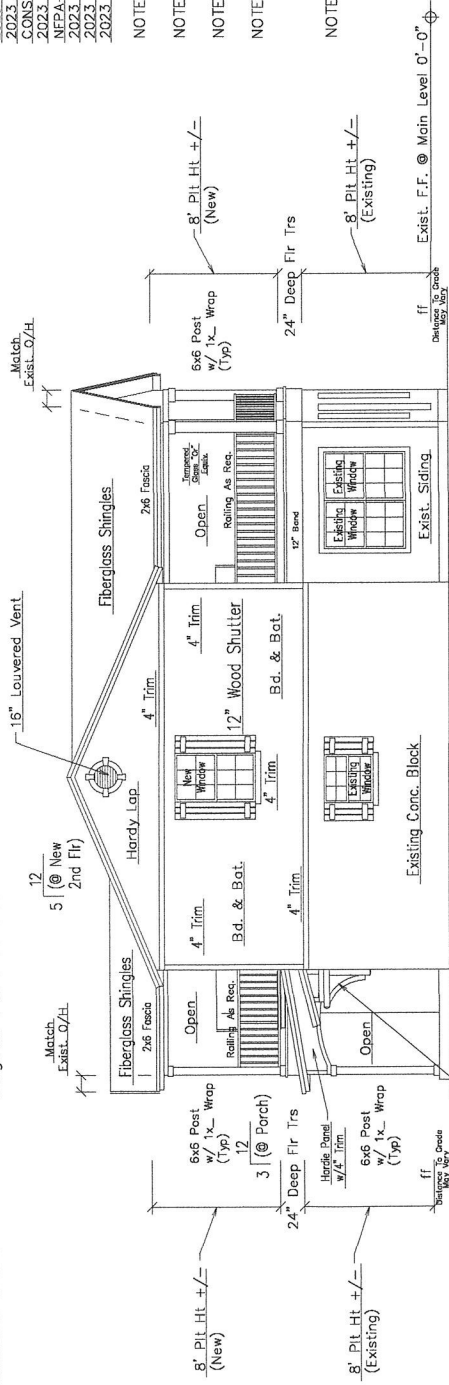
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PLEASE DO NOT SCALE DRAWINGS UNDER CONTRACT BY THE OWNER OR BUILDER. THE DESIGN ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DIMENSIONS OR MATERIALS. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

NOTE: Match All Materials, Pitches, Overhangs, & Fascias To Give The Appearance Of Being An Original Part Of The Core Structure.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 17 BUILDING  
 CONSTRUCTION 2023 ADA/ADAG/IEHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

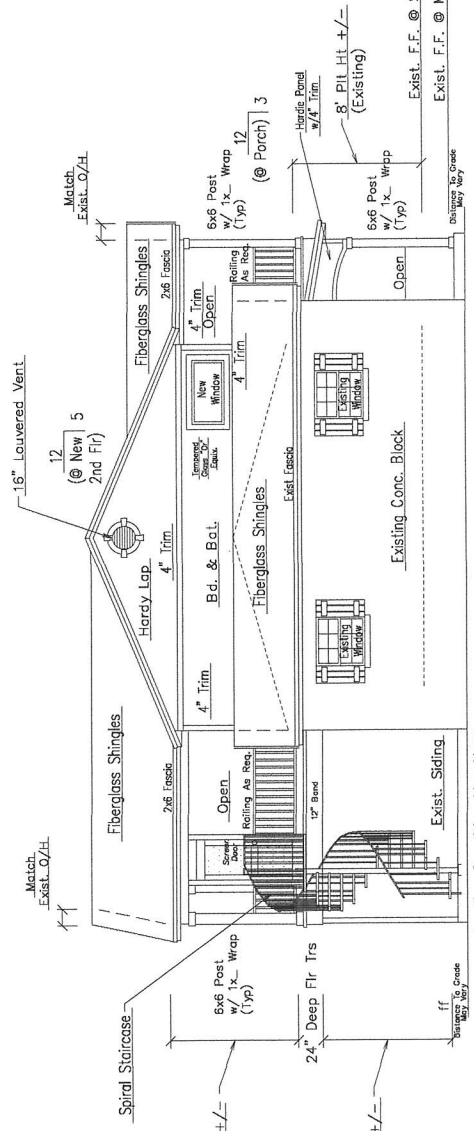
NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bidr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



# RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface. (As Required) (See Roof Plan For Ventilation Calculations) (See Sheet #11)



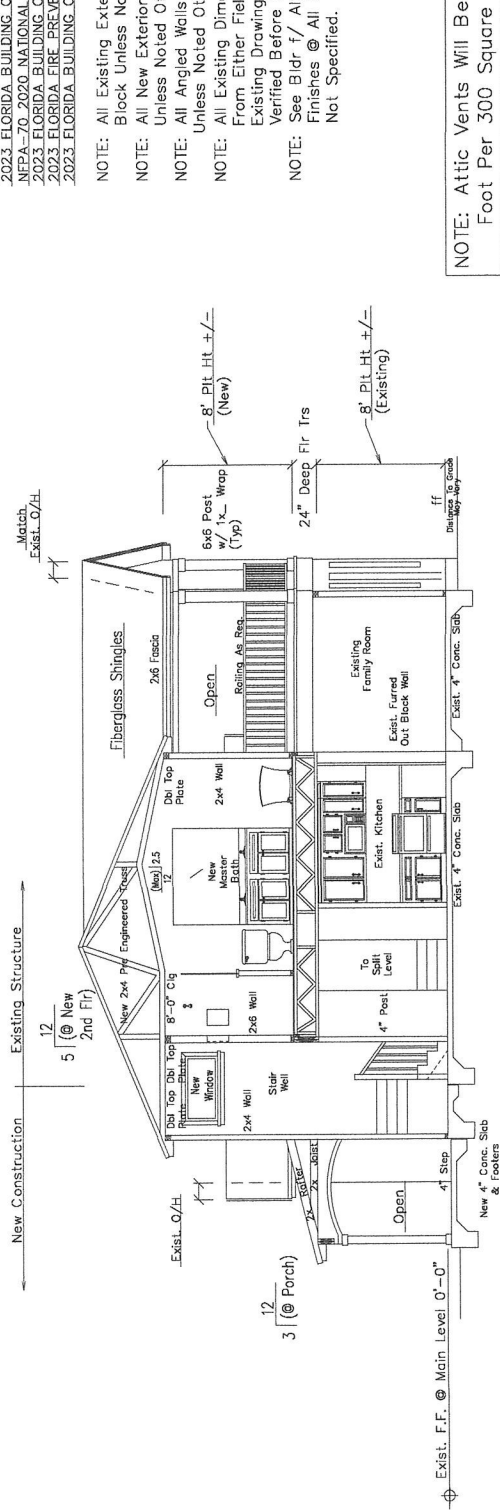
# LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Landing Condition May Vary

PLEASE PRINT NAME, PHONE NUMBER, ADDRESS, CITY, STATE, AND ZIP CODE OF THE CLIENT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

NOTE: Match All Materials, Pitches, Overhangs, & Fascia's To Give The Appearance Of Being An Original Part Of The Core Structure.



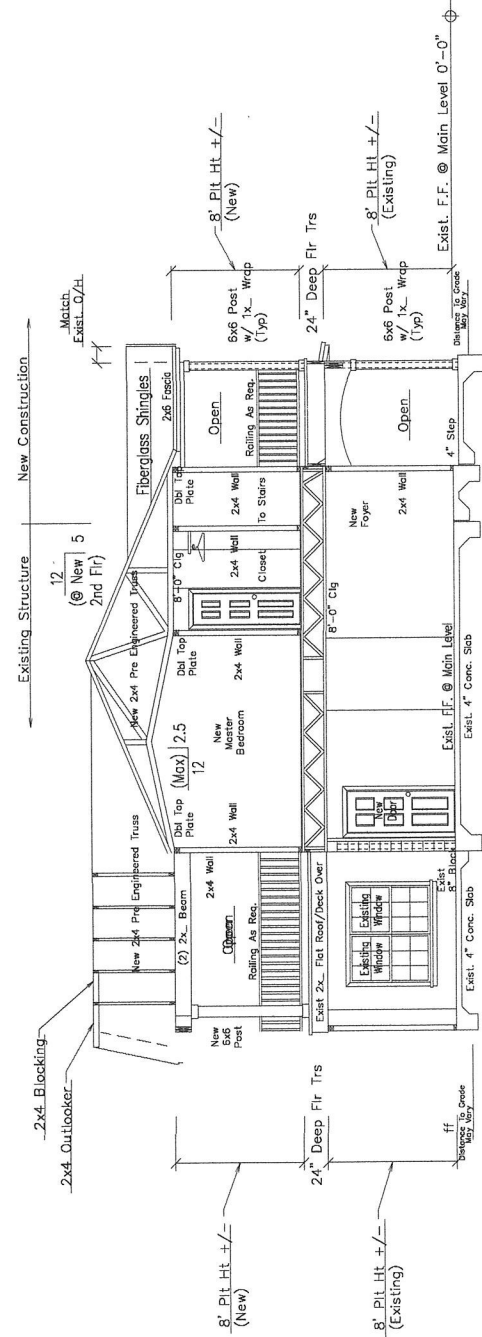
# SECTION B-B

SCALE: 1/4" = 1'-0"

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface. (As Required) (See Roof Plan For Ventilation Calculations) (See Sheet #11)

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE - RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA BUILDING CODE - ACCESSIBILITY CODE 1-7 BUILDING  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE - PLUMBING  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bidr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



# SECTION C-C

SCALE: 1/4" = 1'-0"

PLEASE PRINT NAME, TITLE, PHONE NUMBER, ADDRESS, CITY, STATE, AND ZIP CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA BUILDING CODE ACCESSIBILITY CODE 1-7 BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FHA/FEA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION MECHANICAL

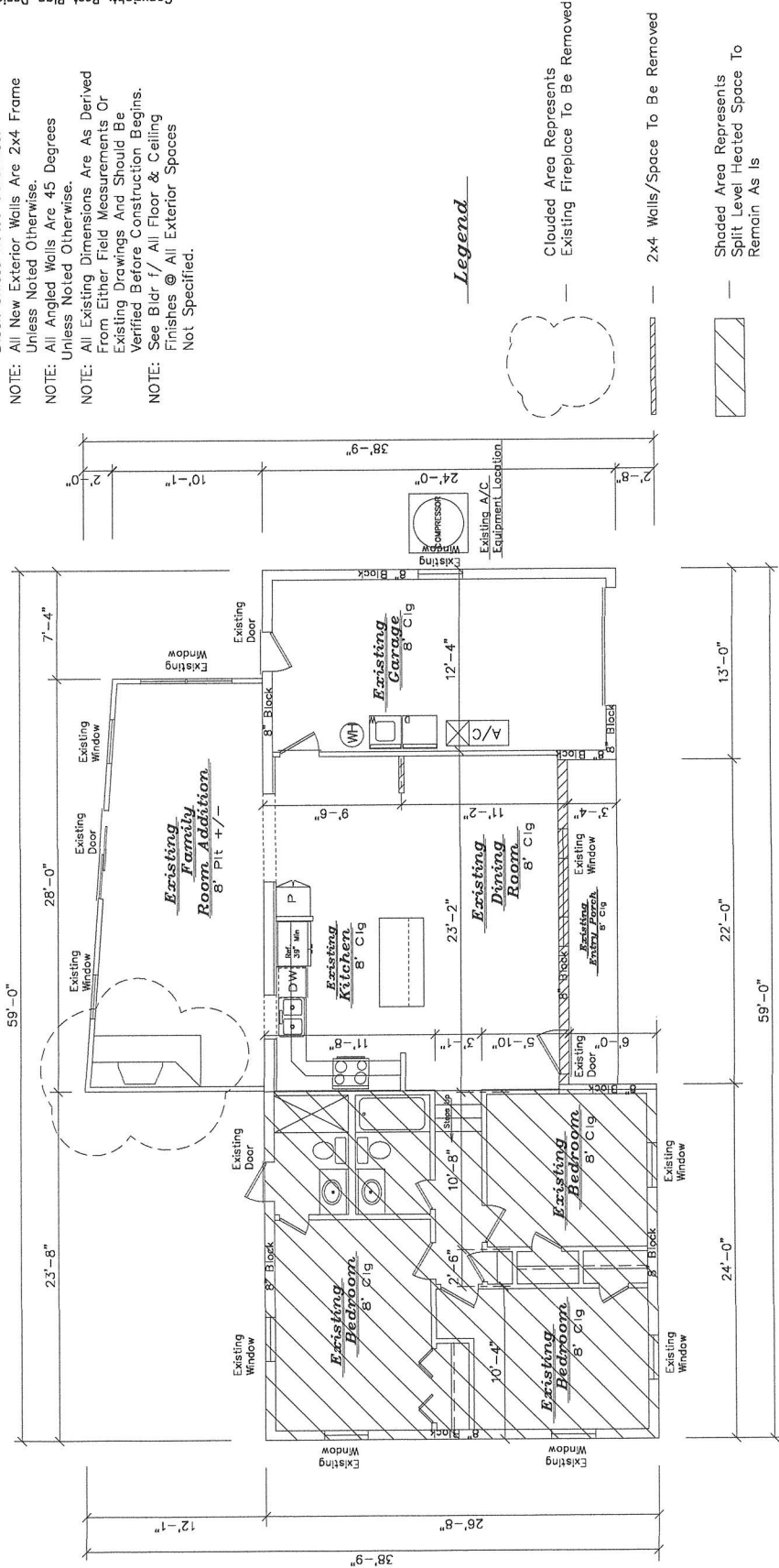
NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
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 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldr 1/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

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 #pb# 24004

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**Legend**

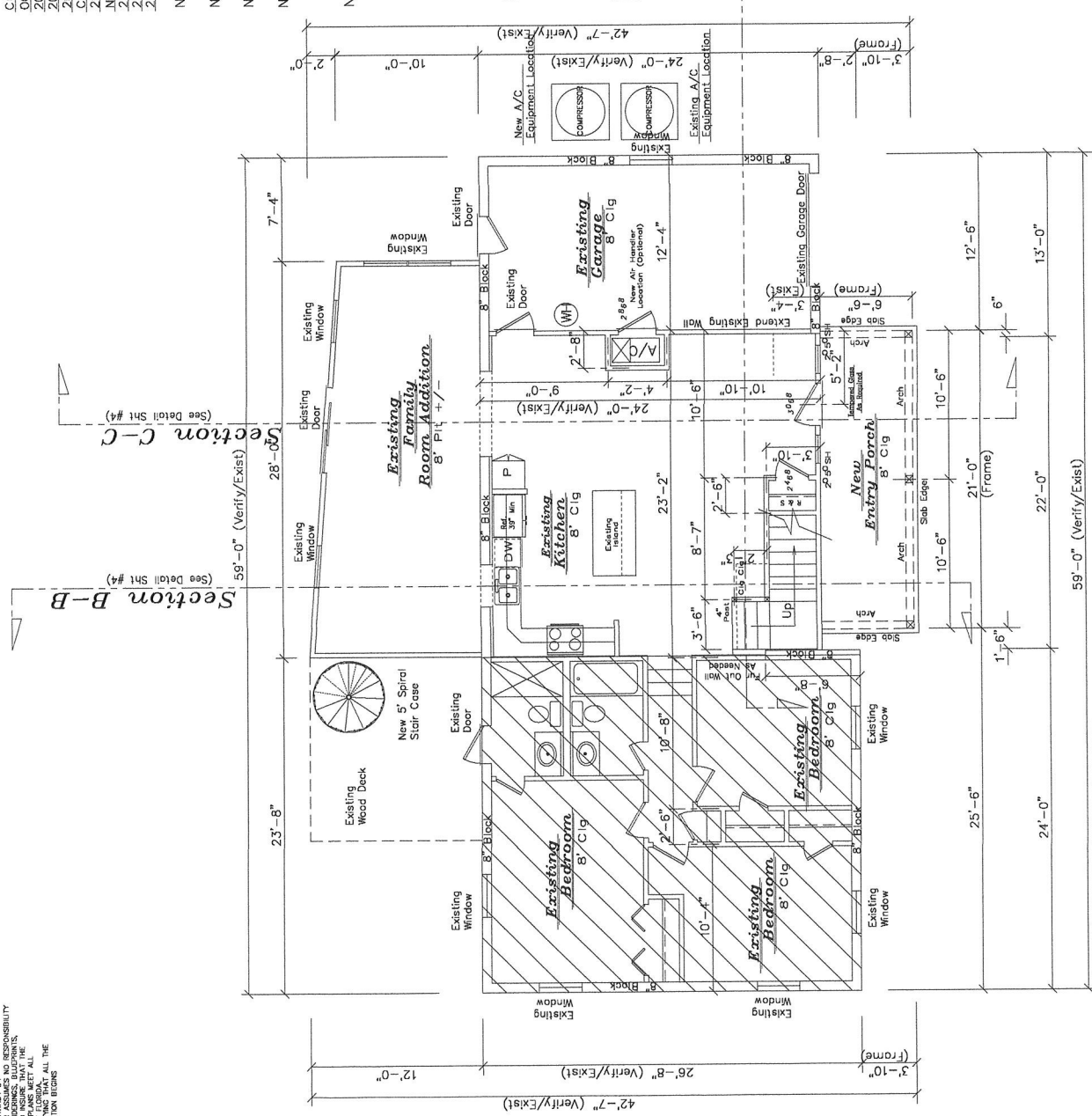
- Clouded Area Represents Existing Fireplace To Be Removed
- 2x4 Walls/Space To Be Removed
- Shaded Area Represents Split Level Heated Space To Remain As Is

**Existing Square Footage**

EXISTING HEATED:	1064
EXISTING GARAGE:	300
EXISTING ENTRY:	74
EXISTING ADDITION:	314
<b>EXISTING TOTAL:</b>	<b>1752</b>

**DEMO/EXISTING FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

PLEASE DO NOT SCALE DRAWINGS. VERIFY CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS, ETC. AND ALL DIMENSIONS HAVE BEEN MADE TO INSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL THE REQUIREMENTS OF THE APPLICABLE CODES. THE CONSULTANT IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.



CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 1/ BUILDING  
 2023 FLORIDA ADA/AAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

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 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bldg 1/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

**Legend**

- Clouded Area Represents Existing Fireplace To Be Removed
- Shaded Area Represents Split Level Heated Space To Remain As Is

**Section A-A**  
 (See Detail Sht #2)

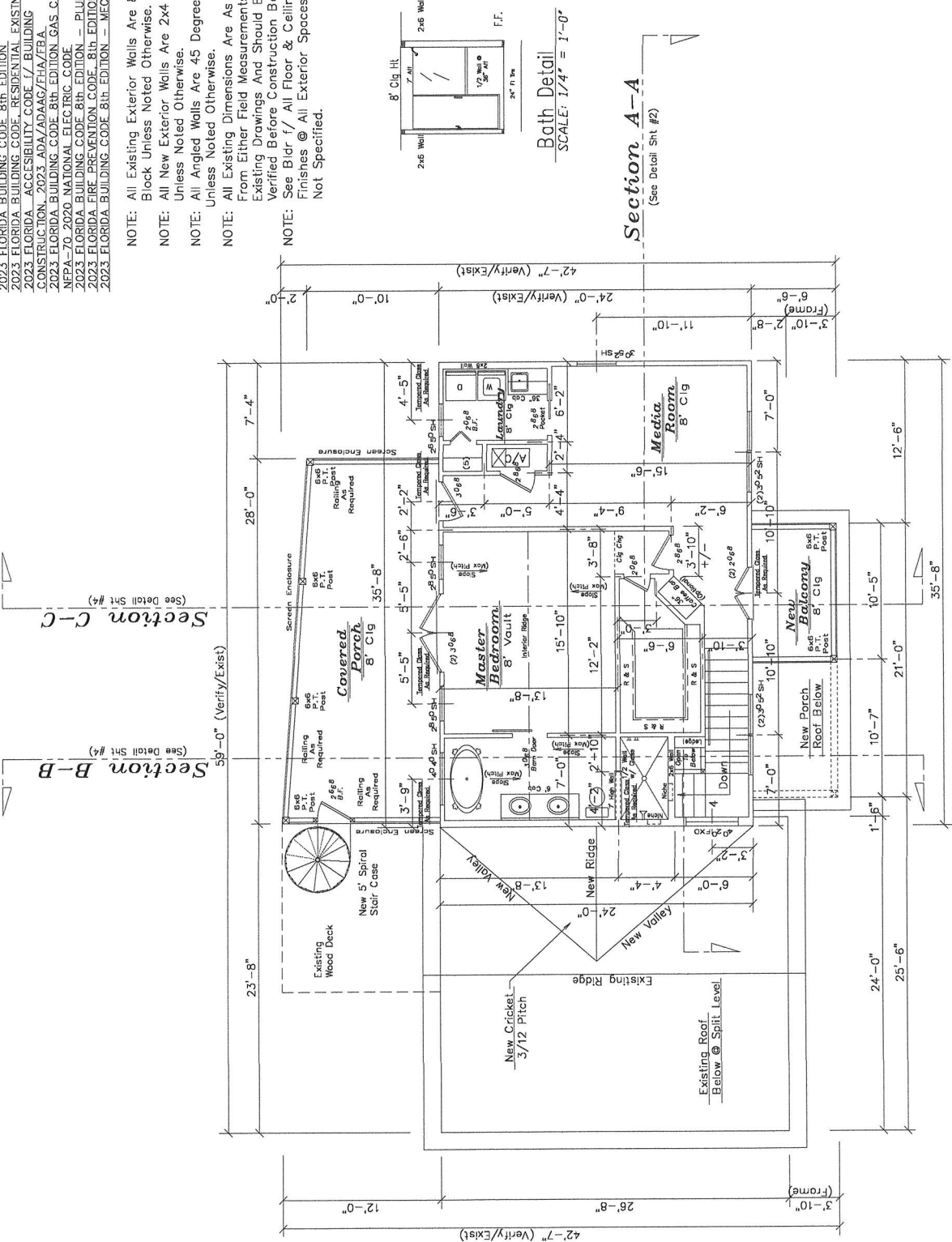
**New Square Footage**

EXISTING HEATED:	1064
EXISTING GARAGE:	300
EXISTING ENTRY:	74
EXISTING ADDITION:	314
<b>NEW 1st FLR ADDITION:</b>	<b>74</b>
<b>NEW 1st FLR HEATED TOTAL:</b>	<b>1138</b>
<b>NEW ENTRY PORCH:</b>	<b>133</b>
<b>NEW 2nd FLOOR:</b>	<b>791</b>
<b>NEW 2nd FLR COVERED PORCH:</b>	<b>310</b>
<b>NEW 2nd FLR BALCONY:</b>	<b>68</b>
<b>NEW TOTAL:</b>	<b>3054</b>

Volume: 9,104 C.F. 1st Flr  
 791 C.F. 2nd Flr

**NEW 1st FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

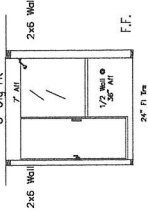
PLEASE NOTE: THESE PLANS HAVE BEEN DRAWN UNDER CONTRACT BY THE NAME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER, CONTRACTOR, ETC. AND ALL ERRORS HAVE BEEN MADE TO INSURE THAT THE DESIGN CONSTRUCTION IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.



**NEW 2nd FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
OCCUPANCY CLASS: Code R-3  
2023 FLORIDA BUILDING CODE 8th EDITION  
2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
2023 FLORIDA BUILDING CODE ACCESSIBILITY CODE F/ BUILDING  
CONSTRUCTION 2023 ADA/ADAA/CEHA/FA/RA  
2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
NFPA-70-2020 NATIONAL ELECTRIC CODE  
2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



**Section A-A**  
(See Detail Sht #2)

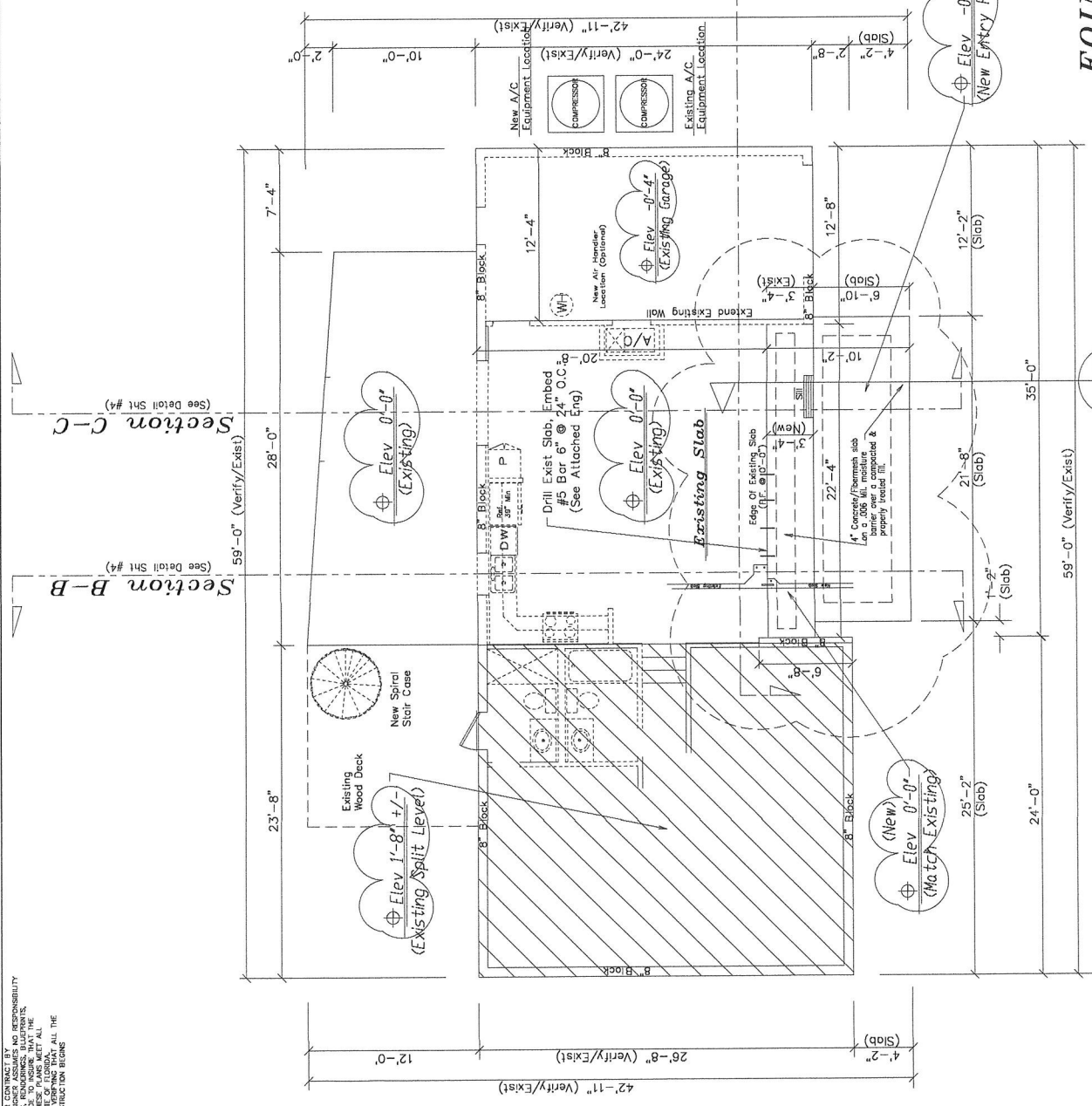
**Section C-C**  
(See Detail Sht #4)

**Section B-B**  
(See Detail Sht #4)

PLEASE DO NOT SCALE DIMENSIONS FROM THIS CONTRACT BY THE NAME OF CONTRACTOR OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DIMENSIONS SHOWN ON THIS PLAN. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE DIMENSIONS SHOWN ON THIS PLAN ARE CORRECT.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA BUILDING CODE ACCESSIBILITY CODE 1-1 BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FAHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NEPA-70 2020 NATIONAL ELECTRICAL CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
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 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bidr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



**Legend**

- Clouded Area Represents New Concrete Slabs To Accommodate The New Addition
- Shaded Area Represents Split Level Heated Space To Remain As Is

**Section A-A**  
 (See Detail Sht #2)

**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

Sht #9

NOTES: ALL EXISTING EXTERIOR WALLS ARE 8" CONCRETE BLOCK UNLESS NOTED OTHERWISE.  
 NOTE: ALL NEW EXTERIOR WALLS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.  
 NOTE: ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.  
 NOTE: ALL EXISTING DIMENSIONS ARE AS DERIVED FROM EITHER FIELD MEASUREMENTS OR EXISTING DRAWINGS AND SHOULD BE VERIFIED BEFORE CONSTRUCTION BEGINS.  
 SEE BLDR 1/ ALL FLOOR & CEILING FINISHES @ ALL EXTERIOR SPACES NOT SPECIFIED.

12 (Varies) (See Elevations)  
 Fiberglass Shingles & 15# Felt on 7/16" OSB or Equiv Hurricane Clip ea Truss (Match Exist)

2x4 Pre-fab Truss @ 24" oc  
 R-38 Insul  
 1/2" Clg Board/Dbl Top Plate  
 2x6 Fascia Level Return PT 1x2  
 Eaves Drip  
 Match Exist (Match Exist)

8'-0" Pit Ht +/- (New)  
 2x6 Studs @ 16" oc  
 R-19 Insulation (Min)  
 P.T. 2x6 Sole Plate Foam Sill Seal  
 3/4" Decking

24" Deep Floor Truss  
 1/2" Drywall Dbl Top Plate  
 See Attached Engineering

2x4 Stud @ 16" OC  
 "Or" 8" Block  
 8" Pit Ht +/- (Exist/Match Exist)  
 R-13 Insulation (Min)  
 P.T. 2X6 Sole Plate Foam Sill Seal  
 4" Conc Slab  
 Compacted Fill

8" Conc Block Stem Wall Footer  
 See Attached Engineering (Fill All Cells)

Distance may vary To be determined @ jobsite

See Attached Engineering

See Attached Engineering

See Attached Engineering

See Attached Engineering

**Typ. Wall Section**  
 Scale: 3/4"=1'-0"

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
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 See Bldr 1/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 11 BUILDING  
 CONSTRUCTION 2023 ADA ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70-2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

CONSTRUCTION TYPE: Type 5B  
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 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

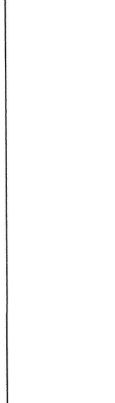
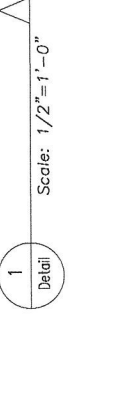
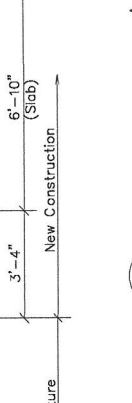
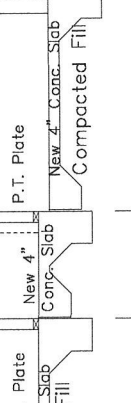
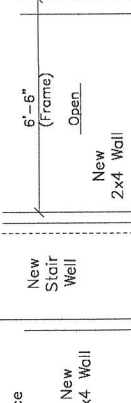
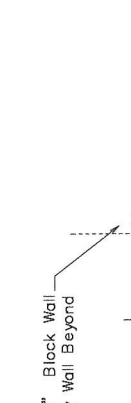
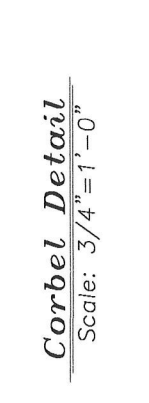
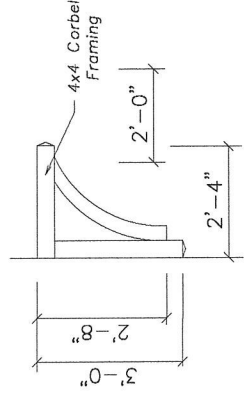
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 OCCUPANCY CLASS: Group R-3  
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 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 11 BUILDING  
 CONSTRUCTION 2023 ADA ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70-2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 11 BUILDING  
 CONSTRUCTION 2023 ADA ADAAG/FHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NFPA-70-2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

**Corbel Detail**  
 Scale: 3/4"=1'-0"



1 Detail  
 Scale: 1/2"=1'-0"



PLEASE NOTE: THESE PLANS WERE PREPARED UNDER CONTRACT BY THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE DESIGNER, ETC. AND, ALL ERRORS HAVE BEEN MADE TO ASSURE THAT THE DIMENSIONS ARE CORRECT AND THAT THESE PLANS MEET ALL THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

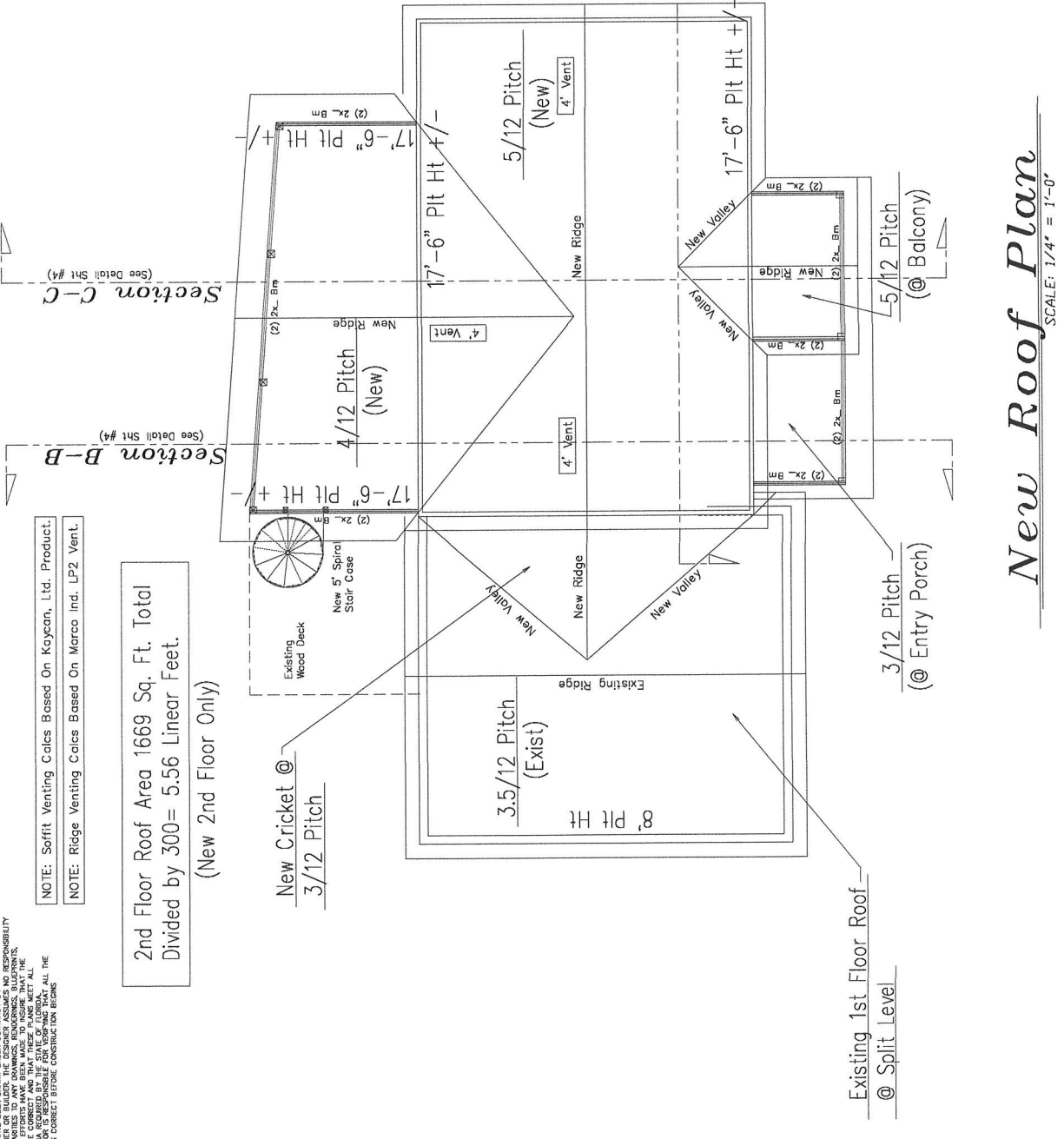
NOTE: Soffit Venting Calcs Based On Kaycan, Ltd. Product.  
NOTE: Ridge Venting Calcs Based On Marco Ind. LP2 Vent.

2nd Floor Roof Area 1669 Sq. Ft. Total  
Divided by 300 = 5.56 Linear Feet.  
(New 2nd Floor Only)

New Cricket @  
3/12 Pitch

Existing Wood Deck

New 5" Spiral Stair Case



Section B-B (See Detail Sht #4)

Section C-C (See Detail Sht #4)

CONSTRUCTION TYPE: Type 5B  
OCCUPANCY CLASS: Group R-3  
2023 FLORIDA BUILDING CODE 8th EDITION  
2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
2023 FLORIDA ACCESSIBILITY CODE F/ BUILDING  
CONSTRUCTION 2023 ADA/AG/FA/FA  
2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
NFPA-70 2020 NATIONAL ELECTRIC CODE  
2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
NOTE: See Bldr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

Note: Attic Ventilation Not Required When Using Spray In Foam (See Bldr For Specific Roof Material)

NOTE: Attic Vents Will Be Provided At 1 Linear Foot Per 300 Square Feet Of Roof Surface.

Roof Data (Linear Feet)	
Eave Line	68'
Cable Line	112'
Ridge Line	78'
Valley Line	64'

(New 2nd Floor)

New 2nd Floor Roof Area 1669 Sq. Ft., 1669 x 144 Divided By 300 = 802 Sq. In. Net Free, 802 Divided by 2 = 401, (3) 4" Off Ridge Vent. 432 Sq Ft., 370 Sq. In. Soffits, 42 L.F. Of Soffit Venting Required.

Section A-A (See Detail Sht #2)

# New Roof Plan

SCALE: 1/4" = 1'-0"

Existing 1st Floor Roof @ Split Level

PLEASE DO NOT SCALE DIMENSIONS FROM THESE PLANS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL THE INFORMATION IS CORRECT BEFORE CONSTRUCTION BEGINS.

NOTE: All Duct Sizing Shall Be In Accordance w/ ACCA Manual D. Provide duct fitting in accordance with Manual D. All ductwork shall be installed in a conditioned space and shall be tested to be "Substantially" Leak Free.

NOTE: Smoke Detectors Shall Be Installed According To Florida Building Code, 2023 8th Edition.























NOTE: All Electrical Wiring To Be In Accordance With 2020 NEC. Provide Arc-Fault Circuit Interruptors in All Rooms. All 120V, Single Phase, 15 & 20 Amp Branch Circuits Supplying Outlets Shall Be Protected By AFCI. See R3902.12, Per Article 210-12.

NOTE: All Electrical Wiring To Be In Accordance With Florida Building Code, 2023 8th Edition.

NOTE: All Permanent Light Fixtures, Interior & Exterior Require CFL/LED Lamps As Per R404.1 & R202 FBC, 2023.

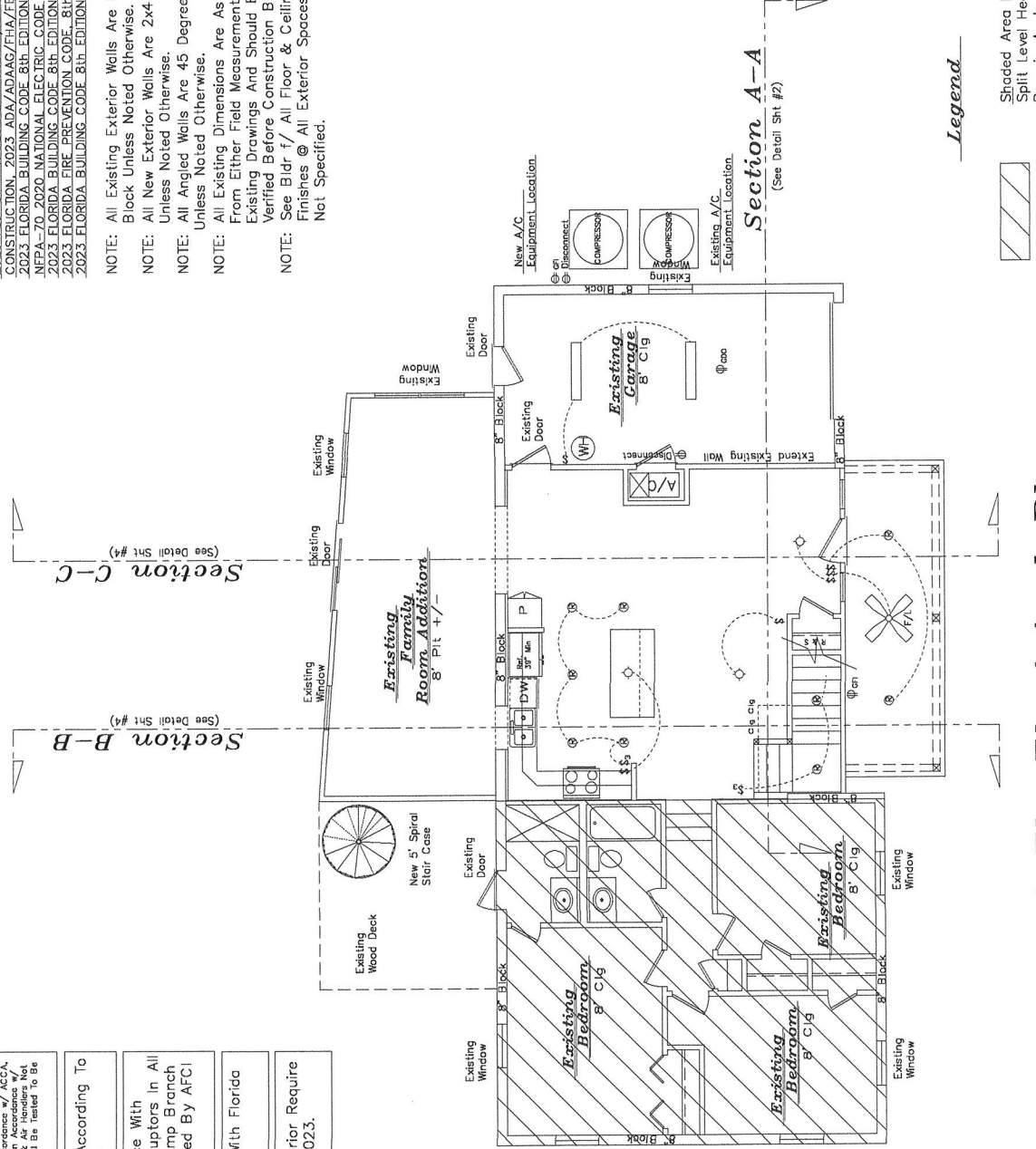
NOTE: Stock Switches As Required

**ELECTRICAL LEGEND**

-  CEILING FAN
-  FLOURESCENT LIGHT
-  LIGHT
-  OUTLET
-  GFI
-  GROUND FAULT INTERRUPT (All Waterproof)
-  EXHAUST FAN/LIGHT
-  FAN ONLY
-  SWITCH
-  THREEWAY
-  FOURWAY
-  EYEBALL LIGHT
-  RECESSED LIGHT
-  SCNCE
-  PRE-WIRE & BRACE
-  PHONE
-  DATA/LAN
-  CABLE
-  SMOKE DETECTOR/CARBON MONOXIDE
-  FLOOD LIGHT
-  AUTOMOBILE CHARGER
-  COMPRESSOR

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Code R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE 17 BUILDING  
 CONSTRUCTION 2023 ADA/ADAAG/FAHA/FBA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NEPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bidr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.



Shaded Area Represents Split Level Heated Space To Remain As Is

**1st Flr Electrical Plan**

SCALE: 1/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT OR ARCHITECTS IN CONSULTATION WITH THE HOME OWNER OR BUILDER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY SURETIES TO ANY OTHERS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE ELECTRICAL SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, PLUMBING, OR OTHER SYSTEMS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE ELECTRICAL SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE MECHANICAL, PLUMBING, OR OTHER SYSTEMS.

NOTE: All Electrical Wiring To Be Installed According To Florida Building Code, 2023 8th Edition.





















NOTE: All Electrical Wiring To Be In Accordance With Florida Building Code, 2023 8th Edition.

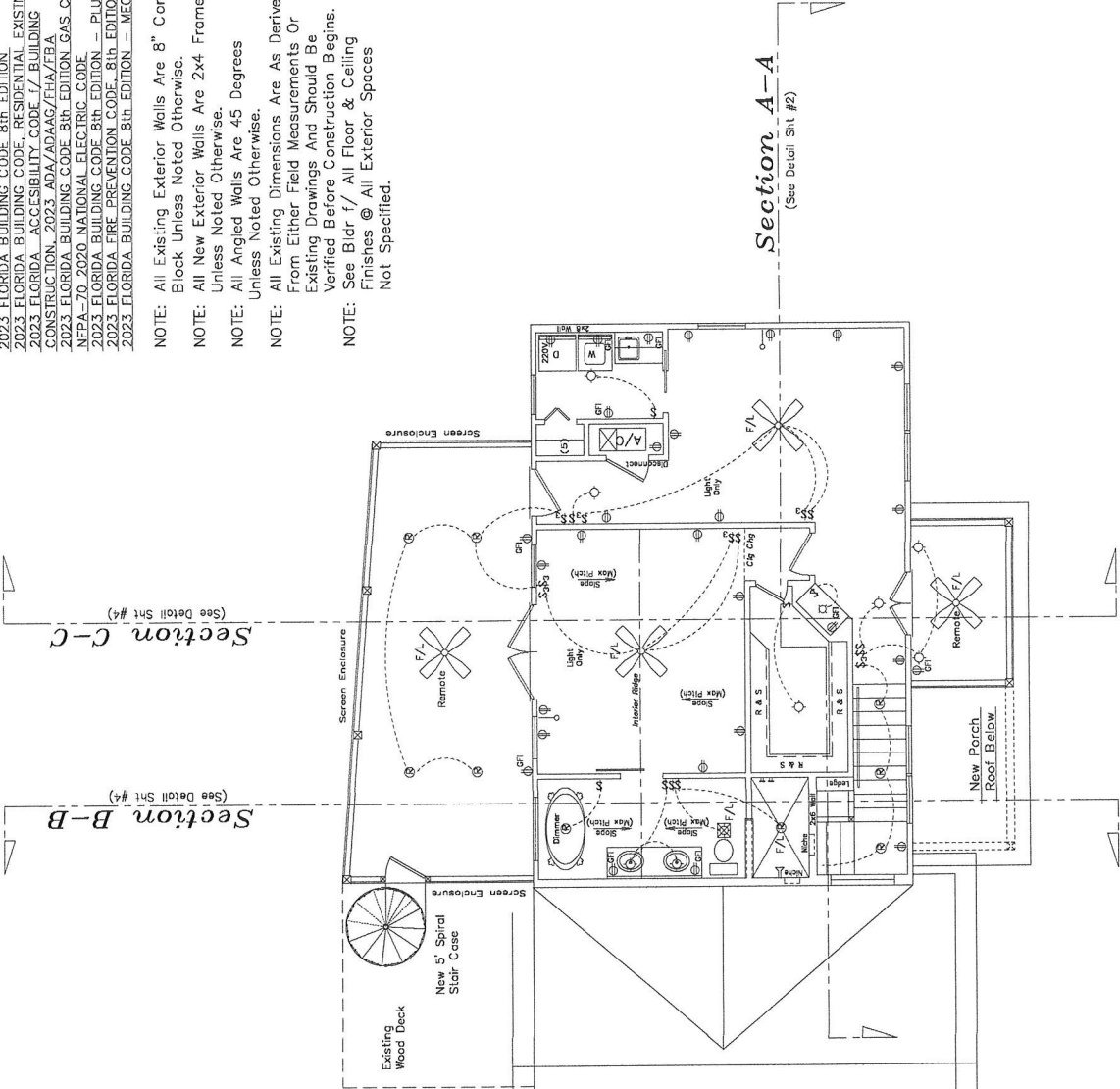
NOTE: All Electrical Wiring To Be In Accordance With Florida Building Code, 2023 8th Edition.

NOTE: All Permanent Light Fixtures, Interior & Exterior Require CFL/LED Lamps As Per R404.1 & R202 FBC, 2023.

NOTE: Switches As Required

ELECTRICAL LEGEND

-  CEILING FAN
-  FLUORESCENT LIGHT
-  OUTLET
-  GROUND FAULT INTERRUPT (All Waterproof)
-  EXHAUST FAN/LIGHT
-  FAN ONLY
-  SWITCH
-  THREEWAY
-  FOURWAY
-  EYE ALL LIGHT
-  RECESSED LIGHT
-  SCNCE
-  PRE-WIRE & BRACE
-  PHONE
-  DATA/LAN
-  CABLE
-  SMOKE DETECTOR/CARBON MONOXIDE
-  FLOOD LIGHT
-  AUTOMOBILE CHARGER
-  COMPRESSOR



2nd Flr Electrical Plan

SCALE: 1/4" = 1'-0"

CONSTRUCTION TYPE: Type 5B  
 OCCUPANCY CLASS: Group R-3  
 2023 FLORIDA BUILDING CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE - RESIDENTIAL EXISTING 8th EDITION  
 2023 FLORIDA ACCESSIBILITY CODE F.I. BUILDING  
 CONSTRUCTION 2023 ADA/ADAA/FAI/FA  
 2023 FLORIDA BUILDING CODE 8th EDITION GAS CODE  
 NEPA-70 2020 NATIONAL ELECTRIC CODE  
 2023 FLORIDA BUILDING CODE 8th EDITION - PLUMBING  
 2023 FLORIDA FIRE PREVENTION CODE 8th EDITION  
 2023 FLORIDA BUILDING CODE 8th EDITION - MECHANICAL

NOTE: All Existing Exterior Walls Are 8" Concrete Block Unless Noted Otherwise.  
 NOTE: All New Exterior Walls Are 2x4 Frame Unless Noted Otherwise.  
 NOTE: All Angled Walls Are 45 Degrees Unless Noted Otherwise.  
 NOTE: All Existing Dimensions Are As Derived From Either Field Measurements Or Existing Drawings And Should Be Verified Before Construction Begins.  
 NOTE: See Bidr f/ All Floor & Ceiling Finishes @ All Exterior Spaces Not Specified.

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Niko & Emily Costas  
 1601 6th Ave, N.  
 Jacksonville Bch, FL  
 32050  
 Job #24004

All Florida  
 Custom Homes  
 Office  
 904-292-0018  
 Fax  
 904-292-1794



**PUBLIC NOTICE**

The Board of Adjustment for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m. in the City Council Chambers, located at 11 North 3rd Street, Jacksonville Beach, Florida** to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit 4**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North ½ of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South ½ of Lots 11 and 12, Block 89, Oceanside Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West ½ of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach  
**NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-*

*tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbechfl.net](mailto:planning@jaxbechfl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

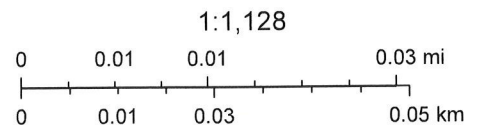
Mar. 5

oo (26-01326D)



March 5, 2026

 Parcels



RE	LNAME	LNAME2	MAIL_ADDR1	MAIL_ADDR2	MAIL_ADDR3	MAIL_CITY	MAIL_STATE	MAIL_ZIP
177933 0000	2018 2 IH BORROWER LP		INVITATION HOMES C/O RYAN LLC	P O BOX 4900		SCOTTSDALE	AZ	85261
178797 0000	ANDUX GONZALO		1529 BENTIN DR S			JACKSONVILLE BEACH	FL	32250
177944 0000	BENNETT JACKIE RUSSELL		1538 6TH AVE N			JACKSONVILLE BEACH	FL	32250-2402
177906 0000	BORDERS JAMISON G		1637 N 6TH AVE			JACKSONVILLE BEACH	FL	32250
177904 0000	BRIGHT PARKER		1611 6TH AVE N			JACKSONVILLE BEACH	FL	32250-2405
177935 0000	CABBAGE ELIZABETH		1612 6TH AVE N			JACKSONVILLE BEACH	FL	32250
177938 0000	DAVIDSON BRANDON G		1605 5TH AVE N			JACKSONVILLE BEACH	FL	32250-2798
177937 0000	DAVIDSON JERONDA		618 16TH ST N			JACKSONVILLE BEACH	FL	32250-2750
177903 0000	DOUGHERTY EMILY		1601 N 6TH AVE			JACKSONVILLE BEACH	FL	32250
178803 0000	FILER MATTHEW A		1526 S BENTIN DR			JACKSONVILLE BEACH	FL	32250
178805 0000	FOSTER SIDNEY ET AL		1534 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2788
177905 0000	GEOFFRION SARA JEAN		52 RICHMOND ST UNIT 1			BRISTOL	RI	02809
177941 0000	GRIFFITH JON R LIFE ESTATE		1631 5TH AVE N			JACKSONVILLE BEACH	FL	32250-2798
177900 0000	HEARON JUSTIN		1527 6TH AVE N			JACKSONVILLE BEACH	FL	32250
177939 0010	HOOT KENNETH WAYNE LIFE ESTATE		1621 5TH AVE N			JACKSONVILLE BEACH	FL	32250-2798
177938 0500	JERNIGAN HILDEGARD R LIFE ESTATE		1611 5TH AVE N			JACKSONVILLE BEACH	FL	32250-2798
178810 0000	JONES HARRY FRANKLIN III ET AL		1626 S BENTIN DR			JACKSONVILLE BEACH	FL	32250
177902 0010	KING HILIARY		1541 6TH AVE N			JACKSONVILLE BEACH	FL	32250
177936 0000	KINZEY BERNICE LIFE ESTATE		1602 6TH AVE N			JACKSONVILLE BEACH	FL	32250-2404
178794 0000	KROPF JACQUELINE NELLIST		1601 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2787
177902 0000	LINKFIELD THEA		2405 ABALONE AVE			INDIALANTIC	FL	32903
178792 0000	LYNN DON R		1621 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2787
178809 0000	MILLER ERIC		1620 BENTIN DR			JACKSONVILLE BEACH	FL	32250
178796 0000	PIERCE RODNEY J		1533 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2773
177901 0000	RHOME HAILEY BEALL		1539 6TH AVE NORTH			JACKSONVILLE BEACH	FL	32250
177932 0000	ROSE ROBIN ET AL		2522 RIVER ENCLAVE LN			JACKSONVILLE	FL	32226
177950 0000	SCHEESEER THEODORE C LIFE ESTATE		615 16TH ST N			JACKSONVILLE BEACH	FL	32250
177945 0000	SULLIVAN MORGEN		1524 6TH AVE N			JACKSONVILLE BEACH	FL	32250-2402
178804 0000	TIPTON JOHN D		2333 AZALEA DR			JACKSONVILLE BEACH	FL	32250
178793 0000	TOMCZYK MICHAEL JON		1611 BENTIN DR S			JACKSONVILLE BEACH	FL	32250
178807 0000	TORELLI DEDRA G LIFE ESTATE		1600 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2774
177934 0000	WEAVER PATRICK J		1622 6TH AVE N			JACKSONVILLE BEACH	FL	32250-2404
178795 0000	WILSON RICKY B		1715 AZALEA DR			JACKSONVILLE BEACH	FL	32250
178806 0000	WILSON RICKY B		1715 AZALEA DR			JACKSONVILLE BEACH	FL	32250-2767
178808 0000	WITHERS JAMES C III		1610 BENTIN DR S			JACKSONVILLE BEACH	FL	32250-2774

## SIGN POSTING AFFIDAVIT

I, Danavsky Joseph, posted official notice concerning a hearing to be held by the **BOARD OF ADJUSTMENT** at **6:00 p.m.** on the 16<sup>th</sup> day of March 2026 regarding the following:

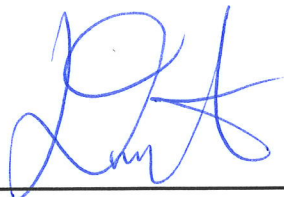
**Property location:** 1601 N 6th Ave

**BOA#26-100012**

**City of Jacksonville Beach Land Development Code Section(s):**

**Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed** 1601 N 6<sup>th</sup> Ave **RE#** 177903-0000, **legally described as** Lot 7, Block 1, *Pine Grove Unit 4*

Sign 1: 1601 N 6th Ave



Signature



Date/Time

**Variance Application Sufficiency - BOA#26-100012**

---

**From** Danevsky Joseph <djoseph@jaxbchfl.net>

**Date** Wed 2/25/2026 8:34 AM

**To** niko@rteam.net <niko@rteam.net>; raymer2001@msn.com <raymer2001@msn.com>; emcostas22@gmail.com <emcostas22@gmail.com>

Good Morning,

The City of Jacksonville Beach has received your Variance Application for property located at **1601 6th Ave N**. The application is sufficient and will be reviewed by staff.

Per your request, the application is tentatively scheduled for the **Tuesday, March 17, 2026, Board of Adjustment Meeting, at City Hall at 6:00PM**. It is required that you or a representative be present at the meeting.

You will receive an email identifying the specifics of your request and confirming the public hearing date and time. Please let us know if you have any questions.

Thank you,

**Danevsky Joseph**

Planner, Planning and Development Department

City of Jacksonville Beach

[djoseph@jaxbchfl.net](mailto:djoseph@jaxbchfl.net)

[www.jacksonvillebeach.org](http://www.jacksonvillebeach.org)





EMAIL – DELIVERY & READ RECEIPT REQUESTED

March 3, 2026

Emily Costas (Dougherty)  
1601 6<sup>th</sup> Av N  
Jacksonville Beach, FL 32250

RE: Application Number: **BOA#26-100012**  
Property Address: 1601 N 6<sup>th</sup> Ave

Good Afternoon,

Notice is hereby given that a public hearing will be held by the Board of Adjustment for the City of Jacksonville Beach on **Tuesday, March 17, 2026, at 6:00 p.m.** located in the **City Council Chambers**, located at **11 North 3<sup>rd</sup> Street**, Jacksonville Beach, Florida to consider your development permit application for a variance from the requirements of the Land Development Code (LDC) as described below:

**Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback Of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed** 1601 N 6<sup>th</sup> Ave **RE#** 177903-0000, **legally described as** Lot 7, Block 1, *Pine Grove Unit 4*

**Please verify this accurately reflects your request.** If corrections are required, or if you have any questions, please contact our office at (904) 247-6232 no later than **Wednesday, March 4<sup>th</sup>, 2026, by 11am.**

Sincerely,

Danevsky Joseph  
Planner

**NOTICE**

*It is the applicant's responsibility to present accurate, substantial competent evidence and/or to demonstrate compliance with the City's Code of Ordinances, land development regulations, and/or comprehensive plan to support a development permit application. The applicant, or an authorized representative, must be present at any public hearing. Failure to appear shall be sufficient cause to deny a request due to lack of evidence or to defer a request to a subsequent public hearing.*

*In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office no later than 5:00 p.m. on the day preceding the meeting. If you plan on attending or presenting at the hearing then you may use this website [www.jacksonvillebeach.org/publichearinginfo](http://www.jacksonvillebeach.org/publichearinginfo) for information concerning the hearing process. This information is also available in the City Hall first floor display case.*

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

City of

Jacksonville Beach

City Hall

11 North Third Street

Jacksonville Beach

FL 32250

Phone: 904.247.6231

Fax: 904.247.6107

Planning@jaxbchfl.net

[www.jacksonvillebeach.o](http://www.jacksonvillebeach.o)



**Applicant NOH - BOA#26-100012**

---

**From** Danevsky Joseph <djoseph@jaxbchfl.net>

**Date** Tue 3/3/2026 3:01 PM

**To** niko@rteam.net <niko@rteam.net>; raymer2001@msn.com <raymer2001@msn.com>;  
emcostas22@gmail.com <emcostas22@gmail.com>

 1 attachment (282 KB)

Applicant NOH 26#-100012.pdf;

Good Morning,

Please find attached a copy of your notice of hearing for property located at **1601 N 6th Ave.**

**\*\*NOTE\*\*** If corrections are required, please contact me no later than 11:00am, **March 4th**, 2026.

If you have any additional questions or need further assistance, please don't hesitate to contact me.

Thank you,

**Danevsky Joseph**

Planner, Planning and Development Department

City of Jacksonville Beach

[djoseph@jaxbchfl.net](mailto:djoseph@jaxbchfl.net)

[www.jacksonvillebeach.org](http://www.jacksonvillebeach.org)





BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-100013 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-100013**

ZONING: RS-1  
 RE NO.: 181643-0000  
 LEGAL: Lot 4, Block 7, *Atlantic Shores Ocean Front Section- Division C*  
 ADDRESS: 123 S 30th Ave (Lot 4)

**REQUEST:**

**Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home.

**EXISTING CONDITIONS:**

The subject property is located in the Low Density Residential future land use category, and is in the Residential, single-family: RS-1 zoning district. The subject site consists of a single-family home on two platted lots of record, circa 1941. The property measures 116 feet in width and 87 feet in depth, with an overall lot area of 10,092 square feet. The applicant plans on demolishing the current dwelling and subdivide the property back into its original two platted lots of record. Following the subdivision, the applicant intends to construct a new single-family residence on each platted lot, as permitted by the Land Development Code (LDC). Due to the size and configuration of the original lots, the proposed development would not meet certain dimensional requirements of the current RS-1 zoning standards, requiring variance approval for front yard setback of 16 feet in lieu of the required 25 feet, side yard setback of 7.6 feet in lieu of the required 10 feet, and maximum lot coverage for the primary structure and required driveway of 49% in lieu of the permitted 35%.

The subject property was originally platted as two individual lots (Lots 3 & 4) prior to the adoption of the current RS-1 zoning standards. Over time, the lots were combined and developed as a single residential parcel. The applicant proposes to return the property to its original configuration by subdividing the parcel back into its two separate lots of record. As a result, the individual lots will not fully conform to current RS-1 dimensional standards. Staff finds that the circumstances affecting the property are related to the historic platting pattern and the dimensional limitations associated with the original lot configuration. These conditions were not created by the current applicant or property owner.

Staff finds this request consistent with the criteria for approval of a variance, and specifically finds this

AGENDA ITEM:	B.
MEETING DATE:	March 17, 2026



will not create a nuisance, as the applicant will not encroach on the required yard setbacks to such an extent that they would negatively affect the neighboring property. The new dwellings will be consistent with the neighboring homes, thus bringing the home into parity with neighboring homes. Continued investment in the existing single-family home will ensure the preservation of the residential character of the existing neighborhood. This is a critical consideration, as continued investment and maintenance of the existing home will ensure continued compatibility among neighboring properties, which is essential for preserving the character of the community. The new addition will enhance, rather than detract from, the neighborhood.

There are no previous BOA cases for the subject property.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

As noted previously, the subject site is an existing lot of record platted prior to the current Land Development Code (1941). The subject property consists of two historic platted lots of record created prior to the adoption of current RS-1 development standards. The dimensional limitations associated with the lots are not the result of actions taken by the current property owner. Several properties within the surrounding neighborhood contain nonconforming lots that have required or will require similar variances for residential development. The applicant has proposed a site plan intended to minimize the extent of the variances while allowing for the construction of a single-family home.

The proposed development maintains the single-family residential use of the property and is consistent with the Low Density Residential future land use designation. The project does not introduce a new use and remains compatible with the surrounding residential neighborhood. The applicant and project architect have prepared a site plan that seeks to minimize the requested variances while accommodating a single-family residential structure consistent with the surrounding neighborhood. The proposal reflects an effort to balance the physical constraints of the property with the requirements of the City’s Land Development Code.

**MINIMUM DIMENSIONAL STANDARDS:**

**Residential, Single-family: RS-1 Zoning Dimensional Standards.**

- Minimum lot area: 9,000 square feet.
- Minimum lot width: 90 feet at the building line and a minimum of 35 feet at the street.
- Minimum yards:
  - Front yard: 25 feet.
  - Side yard: 10 feet on each side except when the lot is a corner lot. For a corner lot, the side yard on the corner shall be 20 percent of the lot width or 10 feet, whichever is greater, except the side yard is never required to exceed 20 feet.
  - Rear yard: 30 feet for primary structure and 20 feet for unenclosed covered patios and enclosed screen rooms.
- Minimum floor area: A single-family dwelling unit shall contain a minimum of 1,400 square feet of conditioned living area and a 1-car garage. The garage shall not be included as part of the single-family dwelling unit's minimum square footage.
- Maximum lot coverage for primary structure and required driveway: 35 percent.
- Maximum Impervious Surface: 50 percent.
- Maximum height: 35 feet.

- Accessory structures: All accessory structures shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

#### REVIEW OF CRITERIA:

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there are conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure.

There are conditions unique to the subject property which prevent compliance with current setback standards. The existing single-family dwelling was constructed under earlier development regulations that predate the updated 2025 Land Development Code, and is situated in a manner that constrains expansion options. The parcel dimensions limit where the dwellings can be constructed, and cannot reasonably be located without setback relief. These factors create circumstances not generally applicable to other parcels in the zoning district.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances are not a result of actions of the applicant.

The conditions are not the result of the applicant's actions. The configuration of the existing parcel and the applicable code requirements predate the current proposal. The hardship arises from the physical configuration of the original lots.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges will not be afforded to the applicant by granting a variance.

Granting the requested variances will not confer special privileges to the applicant. The relief requested is the minimum necessary to allow the new dwellings. Other similarly constrained properties may seek comparable relief, and approval here does not create an advantage unavailable to others in like circumstances.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code would deprive the applicant of rights enjoyed by other parcels of land.

Strict enforcement of the current LDC would prohibit the applicant from making reasonable improvements to their parcel. This would deprive the applicant of opportunities commonly enjoyed by other residential property owners, creating an unnecessary and undue hardship.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested are necessary to make possible a reasonable use of the parcel of land, building, or structure.

The requested variances are necessary to allow the applicant to make a reasonable residential use of the property. Without relief, the ability to improve the two lots with two new dwellings would



be severely limited, which is inconsistent with the intended use and enjoyment of single-family residential properties in the district.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) will not result in the creation of a public nuisance.

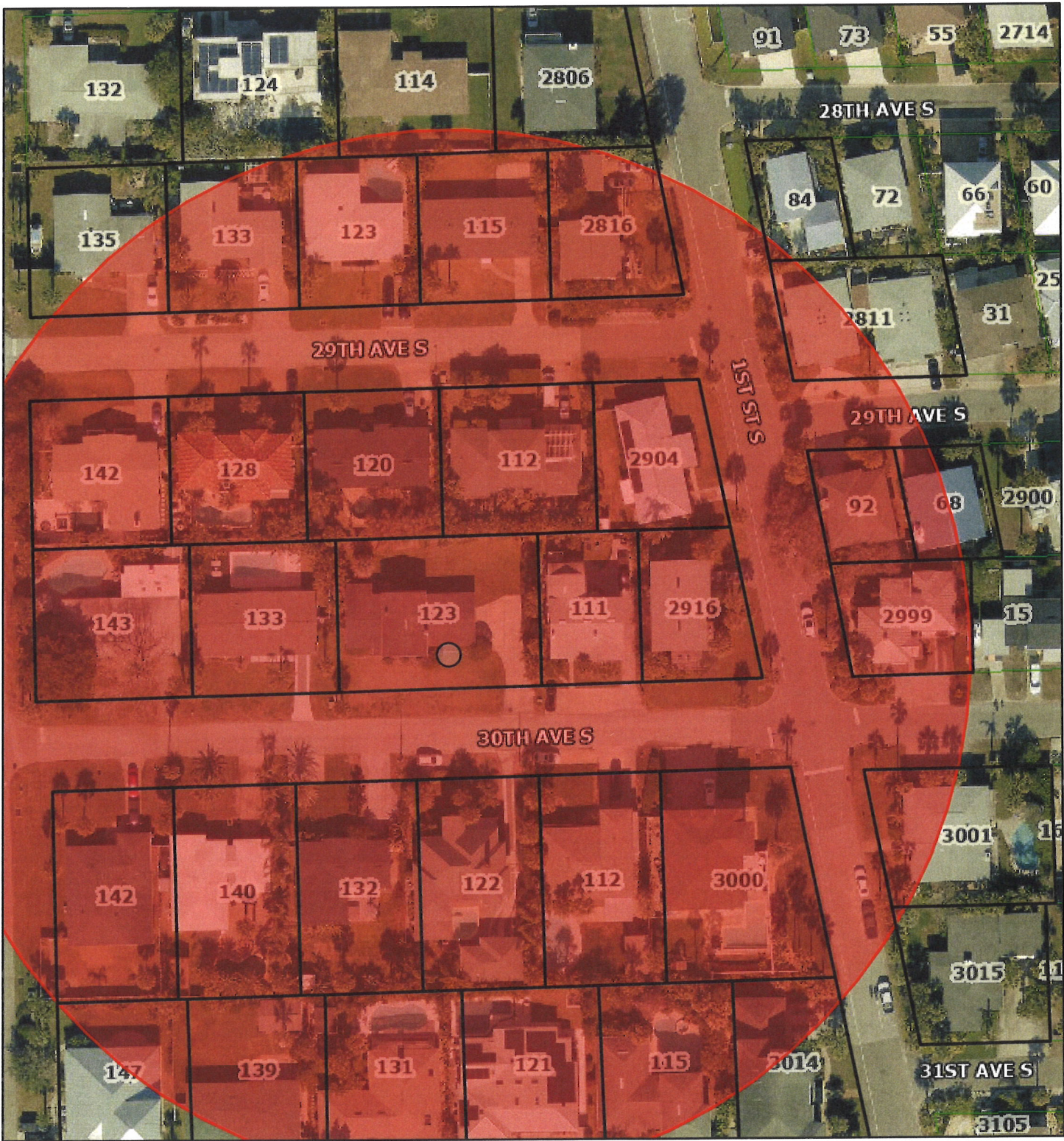
The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100013**.

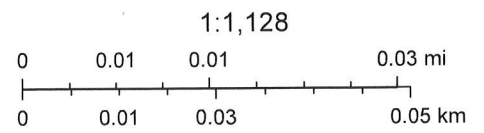
**ATTACHMENTS:**

1. 26-100013pics
2. BOA#26-100013 Application



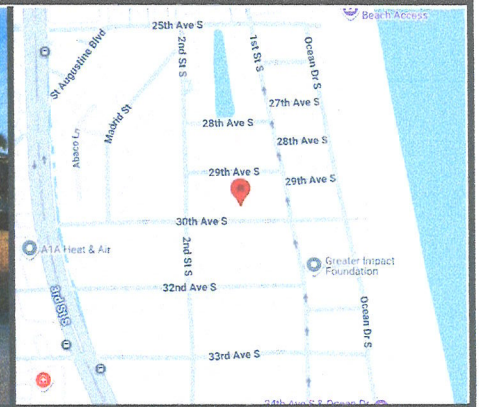
March 5, 2026

 Parcels





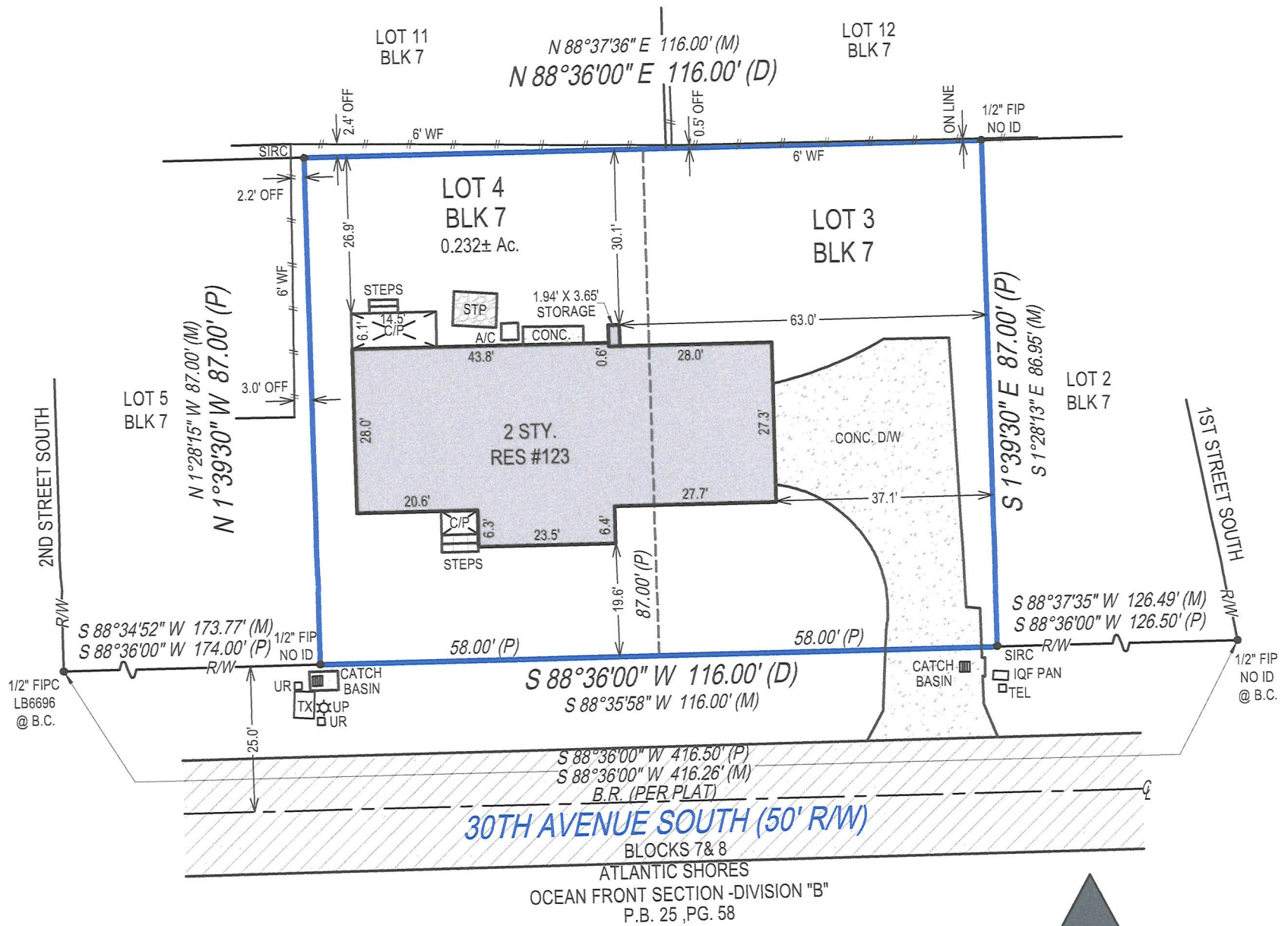
www.exactaland.com | office: 866.735.1916 | fax: 866.744.2882



PROPERTY ADDRESS: 123 30TH AVENUE S, JACKSONVILLE BEACH, FLORIDA 32250

SURVEY NUMBER: FL2601.4622

FL2601.4622  
BOUNDARY SURVEY  
DUVAL COUNTY

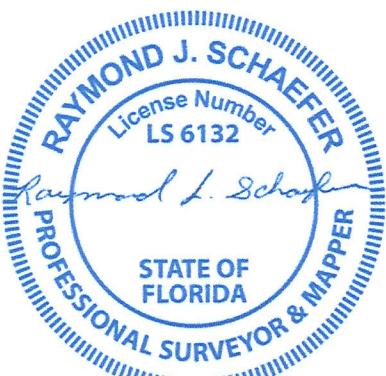


SURVEYOR'S NOTES:  
FENCE OWNERSHIP NOT DETERMINED.

**SURVEYORS CERTIFICATION:**

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.

**POINTS OF INTEREST:  
NONE VISIBLE**



**RAYMOND J. SCHAEFER**  
State of Florida Professional Surveyor and Mapper  
License Number 6132  
Exacta Land Surveyors, LLC | LB# 8291



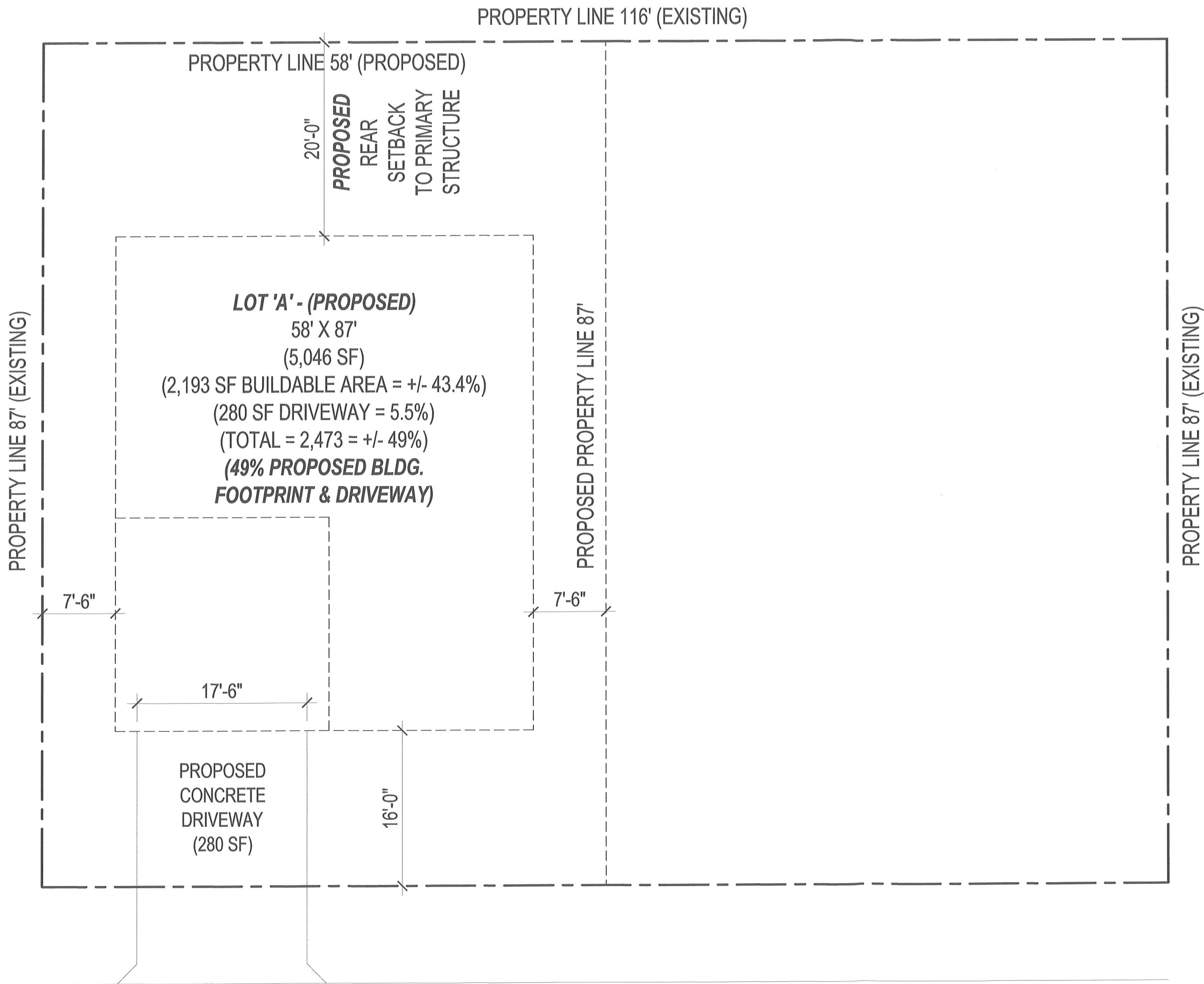
Exacta Land Surveyors, LLC  
LB# 8291  
o: 866.735.1916 | f: 866.744.2882  
131 West Broadway Street, Suite 1001, Oviedo, FL 32765



**AFFILIATE  
MEMBERS**

DATE SIGNED: 02/06/26  
FIELD WORK DATE: 2/4/2026  
REVISION DATE(S): (REV.1 2/6/2026)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



**NOTES:**

1. SEE SURVEY FOR DETAILED DIMENSIONS AND NOTES.
2. 2023 FLORIDA BUILDING CODE :
3. SEE SHEET S-1.0 FOR ADDITIONAL NOTES

**PROJECT INFORMATION:**

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS:  
 123 30TH AVE SOUTH  
 JACKSONVILLE BEACH, FL 32250

LEGAL DESCRIPTION:  
 03282 ATLANTIC SHORES DIV C R/P OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

TAX ASSESSORS PARCEL NO.: 181643-0000

ZONE: RS-1

LOT SIZE: 5,046 SF EACH)

STANDARD SETBACKS:

STREET / FRONT	25'
SIDE	10'
REAR	30'

**PROPOSED SETBACKS:**

**NEW LOT 'A':**

STREET / FRONT	16' PROPOSED
SIDE	7'-6" PROPOSED
REAR	20' PROPOSED (TO PRIMARY STRUCTURE)

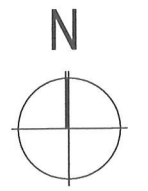
**49% LOT COVERAGE PROPOSED IMPERVIOUS BUILDING & DRIVEWAY**

30TH AVENUE SOUTH

1

**COVER SHEET / SITE PLAN**

3/32" = 1'-0"





# APPLICATION FOR VARIANCE

BOA No. 26-10013  
HEARING DATE 3/17/26

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, **to scale** (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of **\$500.00** (due at the time of application submittal).
7. Completed application.

### APPLICANT INFORMATION

**Applicant Name:** Nick Stam **Telephone:** 904-608-9943  
**Mailing Address:** 317 Ponte Vedra Blvd **E-Mail:** nickstam@me.com  
Ponte Vedra Beach, FL 32082

**Agent Name:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_ **E-Mail:** \_\_\_\_\_

**Landowner Name:** Akoumia LLC **Telephone:** 904-608-9943  
**Mailing Address:** 317 Ponte Vedra Blvd **E-Mail:** nickstam@me.com  
Ponte Vedra Beach, FL 32082

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 123 30th Ave S. Jacksonville Beach, FL 32250 / RE # 181643-0000. Lot A  
 Legal description of property (Attach copy of deed): \_\_\_\_\_  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).  
 \_\_\_\_\_  
Lot A - front yard setback of 16' in lieu of 25', side yard setbacks of 7'6" in lieu of 10', rear yard setback of 20' in lieu of 30', and 43% lot coverage in lieu of 35%

### AFFIDAVIT

I, Nick Stam, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

\_\_\_\_\_  
 APPLICANT SIGNATURE Nick Stam PRINT APPLICANT NAME \_\_\_\_\_ DATE \_\_\_\_\_

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, who is personally known to me or produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
 NOTARY PUBLIC SIGNATURE  
 \_\_\_\_\_  
 PRINT NOTARY NAME

(Affix Notary Seal Above)

<b>THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE</b>	
<b>CURRENT ZONING CLASSIFICATION:</b> <u>RS-1</u>	<b>FLOOD ZONE:</b> _____
<b>CODE SECTION (s):</b> _____	
_____	
_____	
_____	
_____	

## **Variance Application: Professional Assistance Disclosure**

**Project Address:** 123 30th Ave S. Jacksonville Beach, FL 32250

In accordance with the requirements of the Jacksonville Beach Land Development Code, the following professionals are assisting in the preparation and/or representation of this variance application.

### **Architectural Professional**

- **Name:** Scott Rae
- **Firm Name:** Rae Designs LLC
- **Address:** 345 South Roscoe Blvd Ponte Vedra Beach, FL 32082
- **Telephone Number:** 727.483.2422
- **Email Address:** rutrae@gmail.com

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

<b>Standard</b>	<b>Applies? Yes/No</b>	<b>Circumstances/ Explanation</b>
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	yes	The lot does not meet minimum size or frontage requirements for RS-1 zoning. Each lot is a substandard, nonconforming lot in area and width
Special circumstances and conditions do not result from the actions of the applicant.	yes	Subject property circumstances and conditions are not the result of the applicant/owner.
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	yes	The subject property will not have any special privilege. Several non-conforming lots in this area have or will require variances for construction.
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	yes	Strict adherence to the code would impose an undue hardship, depriving the applicant of privileges typically granted to other residential properties facing similar lot size and compliance constraints
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	yes	The Applicant and their Architect have developed a site plan representing the minimum variance necessary for reasonable use, carefully balancing existing site constraints with current code
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	yes	Granting the variance aligns with the core intent and policy framework of the Comprehensive Plan. The requested relief will not result in any negative impacts on adjacent land

Prepared by and return to:  
**Mary Callaway**  
**Ponte Vedra Title, LLC**  
**50 A1A North, Suite 108**  
**Ponte Vedra Beach, FL 32082**

File Number: 26-1051

---

(Space Above This Line For Recording Data)

## Warranty Deed

**This Warranty Deed** made this 10th day of February, 2026, between **Richard V. Elder, Jr., a married man**, whose post office address is **1201 Seawood Drive, Neptune Beach, FL 32266**, **Nancy E. Asbury, a married woman**, whose post office address is **2924 Country Squire Lane, Decatur GA 30033**, and **William G. Elder, a married man**, whose post office address is **5875-1 Atlantic Blvd, Jacksonville FL 32207**, grantor, and **Akoumia LLC, a Florida Limited Liability Company**, whose post office address is **317 Ponte Vedra Boulevard, Ponte Vedra Beach, FL 32082**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Duval County, Florida**, to-wit:

**Lot 3 and 4, Block Seven 7, ATLANTIC SHORES OCEAN FRONT SECTION - DIVISION C, according to Plat thereof recorded in Plat Book 17, page 21, of the Current Public Records of Duval County, Florida.**

**Parcel Identification Number: 181643-0000**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**SUBJECT TO** covenants, conditions, restrictions, easements of record and taxes for the current year.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except as specified herein.

The property described in this instrument is not, nor has it ever been, the constitutional homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) nor any members of the household(s) of Grantor(s) reside thereon or have ever resided thereon.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Two Different Witnesses have signed and provided their Post Office Address below (the Notary may be one of the Witnesses) and neither the Notary, nor any Witness, is related to the grantor or has a beneficial interest in the sale of the property described in this Warranty Deed.

Signed, sealed and delivered in our presence:

[Signature]  
Witness 1 Signature  
Timothy Shippee

Witness 1 Printed Name

50 A1A N. Suite 108

Witness 1 Address (Street)

Ponte Vedra Beach, FL 32082

Witness 1 Address (City, ST Zip)

[Signature]  
Witness 2 Signature  
Mary Callaway

Witness 2 Printed Name

50 A1A North Sk 108

Witness 2 Address (Street)

Ponte Vedra Bch Fl 32082

Witness 2 Address (City, ST Zip)

[Signature]  
Richard V. Elder, Jr.

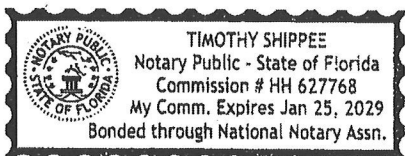
Richard V. Elder, Jr.

[Signature]  
William G. Elder

William G. Elder

State of Florida  
County of St Johns

The foregoing instrument was acknowledged before me by means of  Physical Presence or  Online Notarization, this 16 day of February, 2026, by Richard V. Elder Jr., a married man and William G. Elder a married man, who  are personally known to me or  have produced Valid D.L. as identification.



[Signature]  
NOTARY PUBLIC Timothy Shippee  
Printed Name: \_\_\_\_\_  
My Commission Expires: 1/25/29

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Two Different Witnesses have signed and provided their Post Office Address below (the Notary may be one of the Witnesses) and neither the Notary, nor any Witness, is related to the grantor or has a beneficial interest in the sale of the property described in this Warranty Deed.

Signed, sealed and delivered in our presence:

**Witnesses: Sign, Print Names, Write Mailing Addresses**

Bill Dean

Witness 1 Signature

Bill Dean

Witness 1 Printed Name

1110 Monterey Village

Witness 1 Address (Street)

Jonesboro GA 30236

**Witnesses: Sign, Print Names, Write Mailing Addresses**

Briana Polen

Witness 2 Signature

Briana Polen

Witness 2 Printed Name

1072 Chesapeake Trail

Witness 2 Address (Street)

Rox, GA 30273

Witness 2 Address (City, ST Zip)

Nancy E. Asbury Sign Here  
Nancy E. Asbury

State of Georgia  
County of DeKalb

The foregoing instrument was acknowledged before me by means of  Physical Presence or  Online Notarization, this 4 day of February, 2026, by Nancy E. Asbury, a married woman, who  are personally known to me or  have produced Drivers License as identification.

Notarize Here

Briana Polen  
NOTARY PUBLIC  
Printed Name: Briana Polen  
My Commission Expires: 10-5-2029



**PUBLIC NOTICE**

The Board of Adjustment for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m. in the City Council Chambers**, located at **11 North 3rd Street**, Jacksonville Beach, Florida to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit 4**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(c), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North 1/2 of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South 1/2 of Lots 11 and 12, Block 89, Oceanside Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West 1/2 of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach  
**NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-*

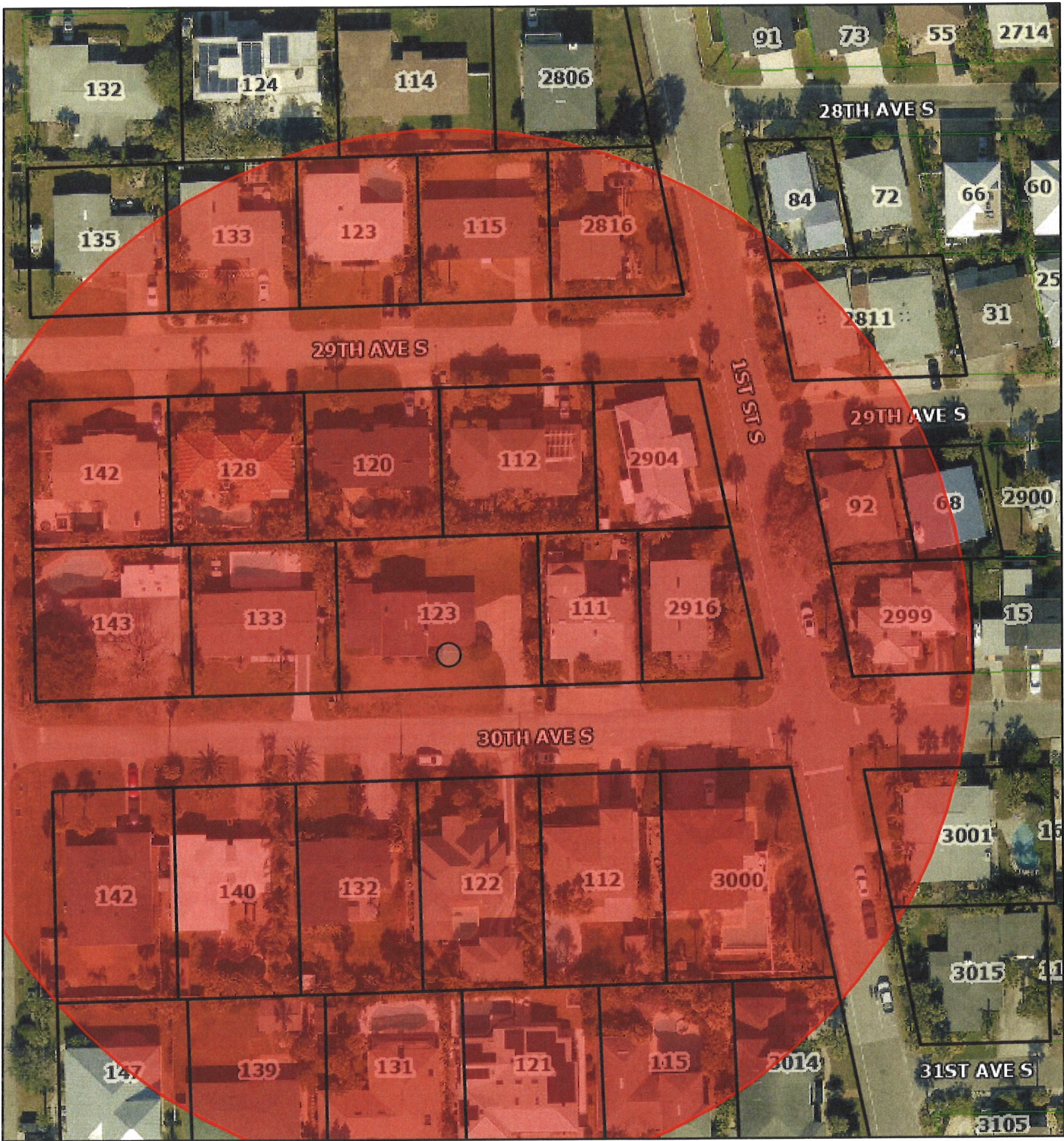
*tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbchfl.net](mailto:planning@jaxbchfl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

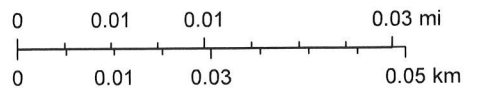
Mar. 5 00 (26-01326D)



March 5, 2026

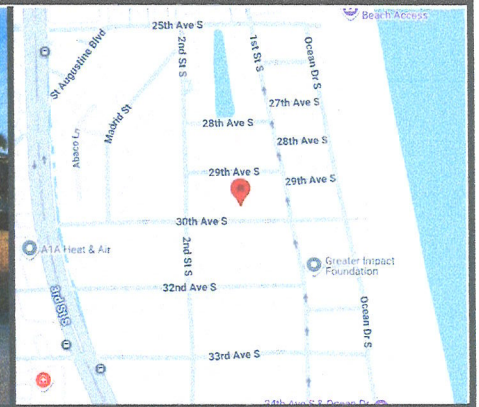
 Parcels

1:1,128





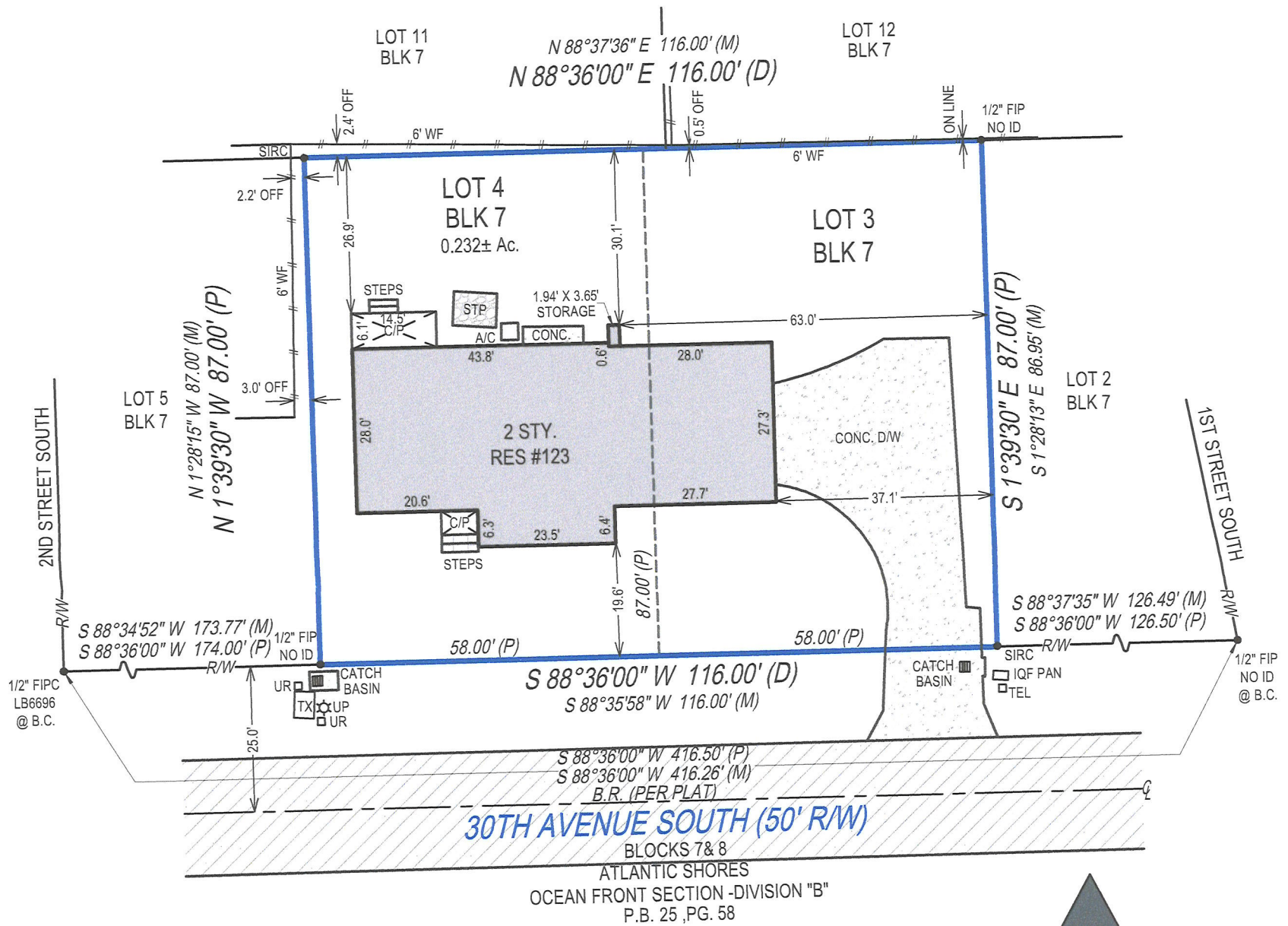
www.exactalands.com | office: 866.735.1916 | fax: 866.744.2882



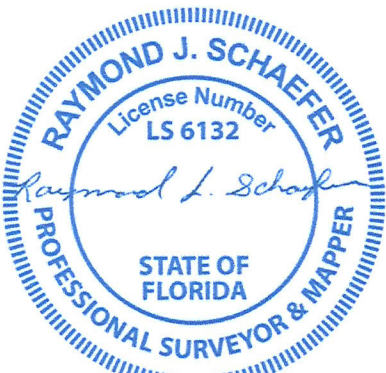
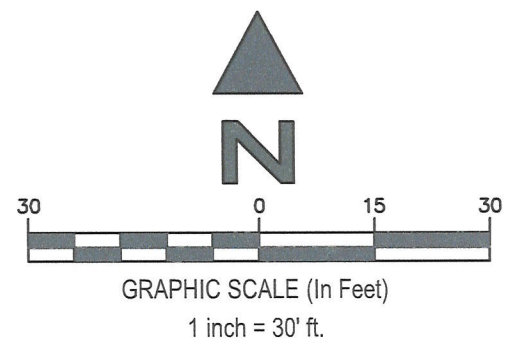
PROPERTY ADDRESS: 123 30TH AVENUE S, JACKSONVILLE BEACH, FLORIDA 32250

SURVEY NUMBER: FL2601.4622

FL2601.4622  
BOUNDARY SURVEY  
DUVAL COUNTY



SURVEYOR'S NOTES:  
FENCE OWNERSHIP NOT DETERMINED.



**RAYMOND J. SCHAEFER**  
State of Florida Professional Surveyor and Mapper  
License Number 6132  
Exacta Land Surveyors, LLC | LB# 8291

**SURVEYORS CERTIFICATION:**

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.

**POINTS OF INTEREST:**  
NONE VISIBLE



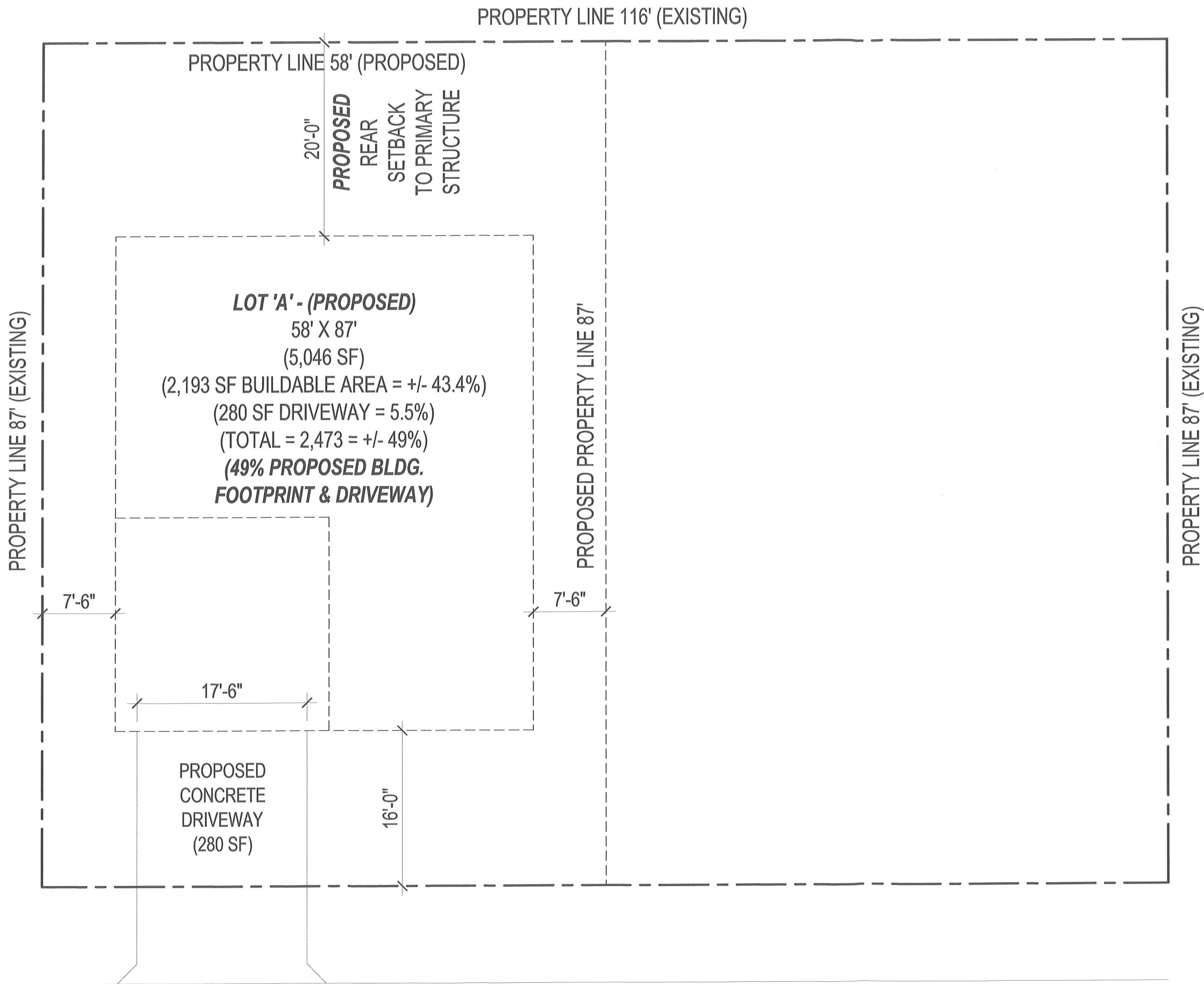
Exacta Land Surveyors, LLC  
LB# 8291  
o: 866.735.1916 | f: 866.744.2882  
131 West Broadway Street, Suite 1001, Oviedo, FL 32765



**AFFILIATE MEMBERS**

DATE SIGNED: 02/06/26  
FIELD WORK DATE: 2/4/2026  
REVISION DATE(S): (REV.1 2/6/2026)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



**NOTES:**

1. SEE SURVEY FOR DETAILED DIMENSIONS AND NOTES.
2. 2023 FLORIDA BUILDING CODE :
3. SEE SHEET S-1.0 FOR ADDITIONAL NOTES

**PROJECT INFORMATION:**

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS:

123 30TH AVE SOUTH  
 JACKSONVILLE BEACH, FL 32250

LEGAL DESCRIPTION:

03282 ATLANTIC SHORES DIV C R/P OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

TAX ASSESSORS PARCEL NO.: 181643-0000

ZONE: RS-1

LOT SIZE: 5,046 SF EACH)

STANDARD SETBACKS:

STREET / FRONT	25'
SIDE	10'
REAR	30'

**PROPOSED SETBACKS:**

**NEW LOT 'A':**

STREET / FRONT	<b>16' PROPOSED</b>
SIDE	<b>7'-6" PROPOSED</b>
REAR	<b>20' PROPOSED (TO PRIMARY STRUCTURE)</b>

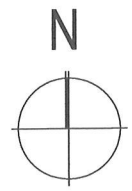
**49% LOT COVERAGE PROPOSED IMPERVIOUS BUILDING & DRIVEWAY**

30TH AVENUE SOUTH

1

**COVER SHEET / SITE PLAN**

3/32" = 1'-0"





BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-100014 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-100014**

ZONING: RS-1  
 RE NO.: 181643-0000  
 LEGAL: Lot 3, Block 7, *Atlantic Shores Ocean Front Section- Division C*  
 ADDRESS: 123 S 30th Avenue (Lot 3)

**REQUEST:**

**Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home

**EXISTING CONDITIONS:**

The subject property is located in the Low Density Residential future land use category, and is in the Residential, single-family: RS-1 zoning district. The subject site consists of a single-family dwelling on two platted lots of record, circa 1941. The property measures 116 feet in width and 87 feet in depth, with an overall lot area of 10,092 square feet. The applicant plans on demolishing the current dwelling and subdivide the property back into its original two platted lots of record. Following the subdivision, the applicant intends to construct a new single-family residence on each platted lot. Due to the size and configuration of the original lots, the proposed development would not meet certain dimensional requirements of the current RS-1 zoning standards, requiring variance approval for, front yard setback of 20 feet in lieu of the required 25 feet, side yard setback of 7.6 feet in lieu of the required 10 feet, for a rear yard setback of 20 feet in lieu of 30 feet minimum, and maximum lot coverage for the primary structure and required driveway of 49% in lieu of the permitted 35%.

The subject property was originally platted as two individual lots (Lots 3 & 4) prior to the adoption of the current RS-1 zoning standards. Over time, the lots were combined and developed as a single residential parcel. The applicant proposes to return the property to its original configuration by subdividing the parcel back into its two separate platted lots of record. As a result, the individual lots will not fully conform to current RS-1-dimensional standards. Staff finds that the circumstances affecting the property are related to the historic platting pattern and the dimensional limitations associated with the original lot configuration. These conditions were not created by the current applicant or property owner.

AGENDA ITEM:	C.
MEETING DATE:	March 17, 2026



Staff finds this request consistent with the criteria for approval of a variance, and specifically finds this will not create a nuisance, as the applicant will not encroach on the required yard setbacks to such an extent that they would negatively affect the neighboring property. The new dwellings will be consistent with the neighboring homes, thus bringing the home into parity with neighboring homes. Continued investment in the existing single-family home will ensure the preservation of the residential character of the existing neighborhood. This is a critical consideration, as continued investment and maintenance of the existing home will ensure continued compatibility among neighboring properties, which is essential for preserving the character of the community. The new addition will enhance, rather than detract from, the neighborhood's.

There are no previous BOA Cases for the subject property.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

As noted previously, the subject site (Lot 3) is an existing lot of record platted prior to the current Land Development Code (1941). The subject property consists of two historic platted lots of record created prior to the adoption of current RS-1 development standards. The dimensional limitations associated with the lots are not the result of actions taken by the current property owner. Several properties within the surrounding neighborhood contain nonconforming lots that have required or will require similar variances for residential development. The applicant has proposed a site plan intended to minimize the extent of the variances while allowing for the construction of a single-family home.

On Lot 3, the applicant plans on using permeable pavers in order to minimize the lot coverage. The proposed development maintains the single-family residential use of the property and is consistent with the Low Density Residential future land use designation. The project does not introduce a new use and remains compatible with the surrounding residential neighborhood. The applicant and project architect have prepared a site plan that seeks to minimize the requested variances while accommodating a single-family residential structure consistent with the surrounding neighborhood. The proposal reflects an effort to balance the physical constraints of the property with the requirements of the City's Land Development Code.

**MINIMUM DIMENSIONAL STANDARDS:**

**Residential, Single-family: RS-2 Zoning Dimensional Standards**

- Minimum lot area: 9,000 square feet.
- Minimum lot width: 90 feet at the building line and a minimum of 35 feet at the street.
- Minimum yards:
  - Front yard: 25 feet.
  - Side yard: 10 feet on each side except when the lot is a corner lot. For a corner lot, the side yard on the corner shall be 20 percent of the lot width or 10 feet, whichever is greater, except the side yard is never required to exceed 20 feet.
  - Rear yard: 30 feet for primary structure and 20 feet for unenclosed covered patios and enclosed screen rooms.
- Minimum floor area: A single-family dwelling unit shall contain a minimum of 1,400 square feet of conditioned living area and a 1-car garage. The garage shall not be included as part of the single-family dwelling unit's minimum square footage.
- Maximum lot coverage for primary structure and required driveway: 35 percent.



- Maximum Impervious Surface: 50 percent.
- Maximum height: 35 feet.
- Accessory structures: All accessory structures shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

**REVIEW OF CRITERIA:**

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there **are** conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure.

There are conditions unique to the subject property which prevent compliance with current setback standards. The existing single-family dwelling was constructed under earlier development regulations that predate the updated 2025 Land Development Code, and is situated in a manner that constrains expansion options. The parcel dimensions limit where the dwellings can be constructed, and cannot reasonably be located without setback relief. These factors create circumstances not generally applicable to other parcels in the zoning district.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances **are not** a result of actions of the applicant.

The conditions are not the result of the applicant's actions. The configuration of the existing parcel and the applicable code requirements predate the current proposal. The hardship arises from the physical configuration of the original lots.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges **will not** be afforded to the applicant by granting a variance.

Granting the requested variances will not confer special privileges to the applicant. The relief requested is the minimum necessary to allow the new dwellings. Other similarly constrained properties may seek comparable relief, and approval here does not create an advantage unavailable to others in like circumstances.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code **would** deprive the applicant of rights enjoyed by other parcels of land.

Strict enforcement of the current LDC would prohibit the applicant from making reasonable improvements to their parcel. This would deprive the applicant of opportunities commonly enjoyed by other residential property owners, creating an unnecessary and undue hardship.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested **are** necessary to make possible a reasonable use of the parcel of land, building, or structure.



The requested variances are necessary to allow the applicant to make a reasonable residential use of the property. Without relief, the ability to improve the two lots with two new dwellings would be severely limited, which is inconsistent with the intended use and enjoyment of single-family residential properties in the district.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) **will not** result in the creation of a public nuisance.

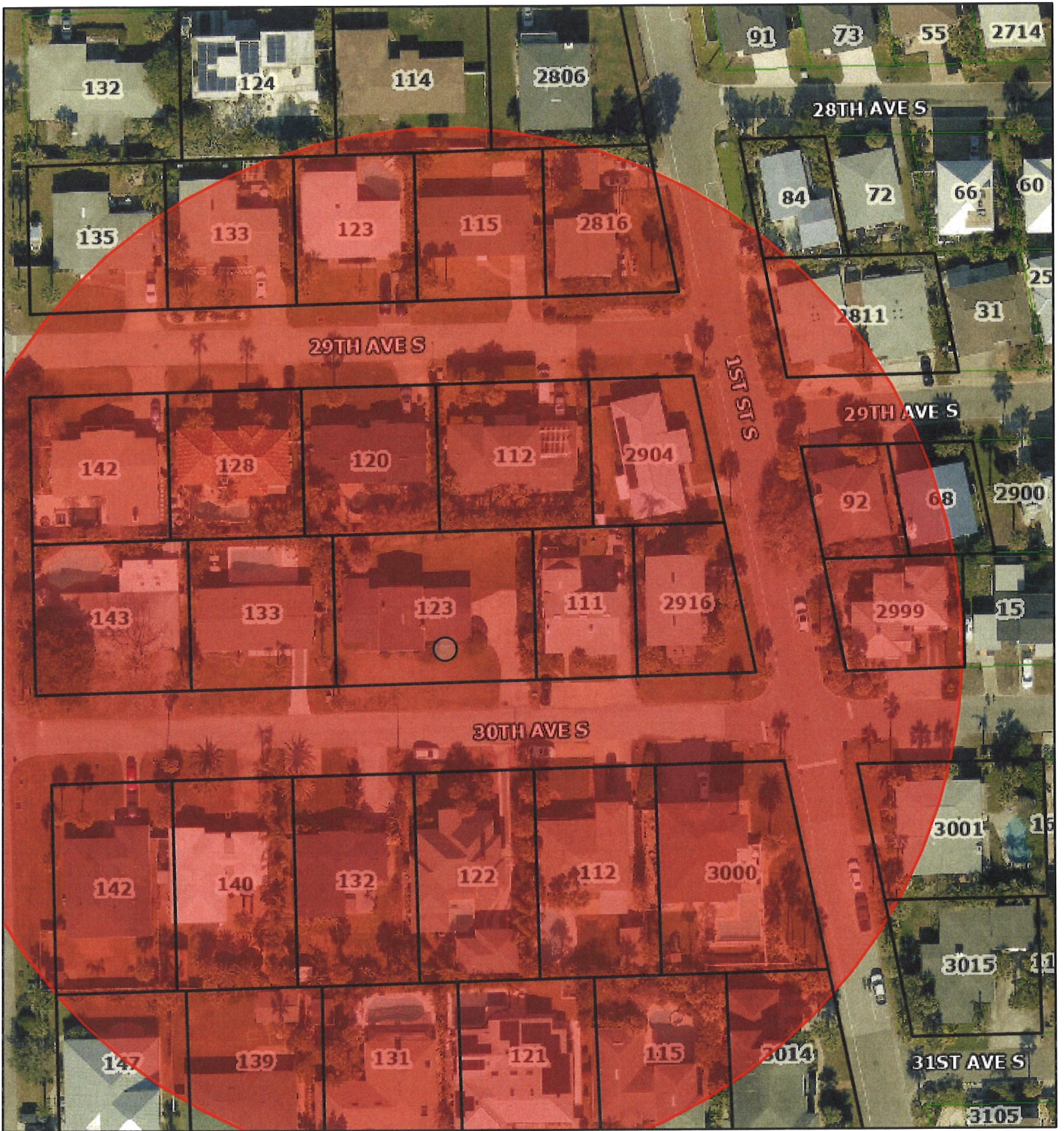
The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100014**.

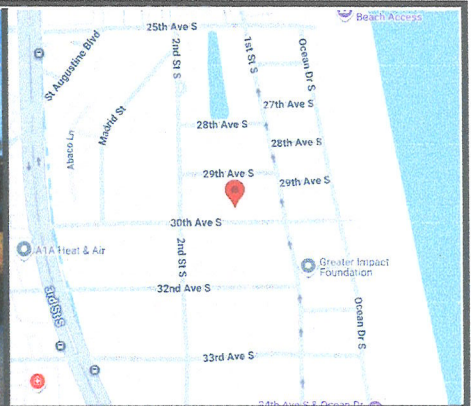
**ATTACHMENTS:**

1. 26-100014pics
2. BOA#26-100014 Application





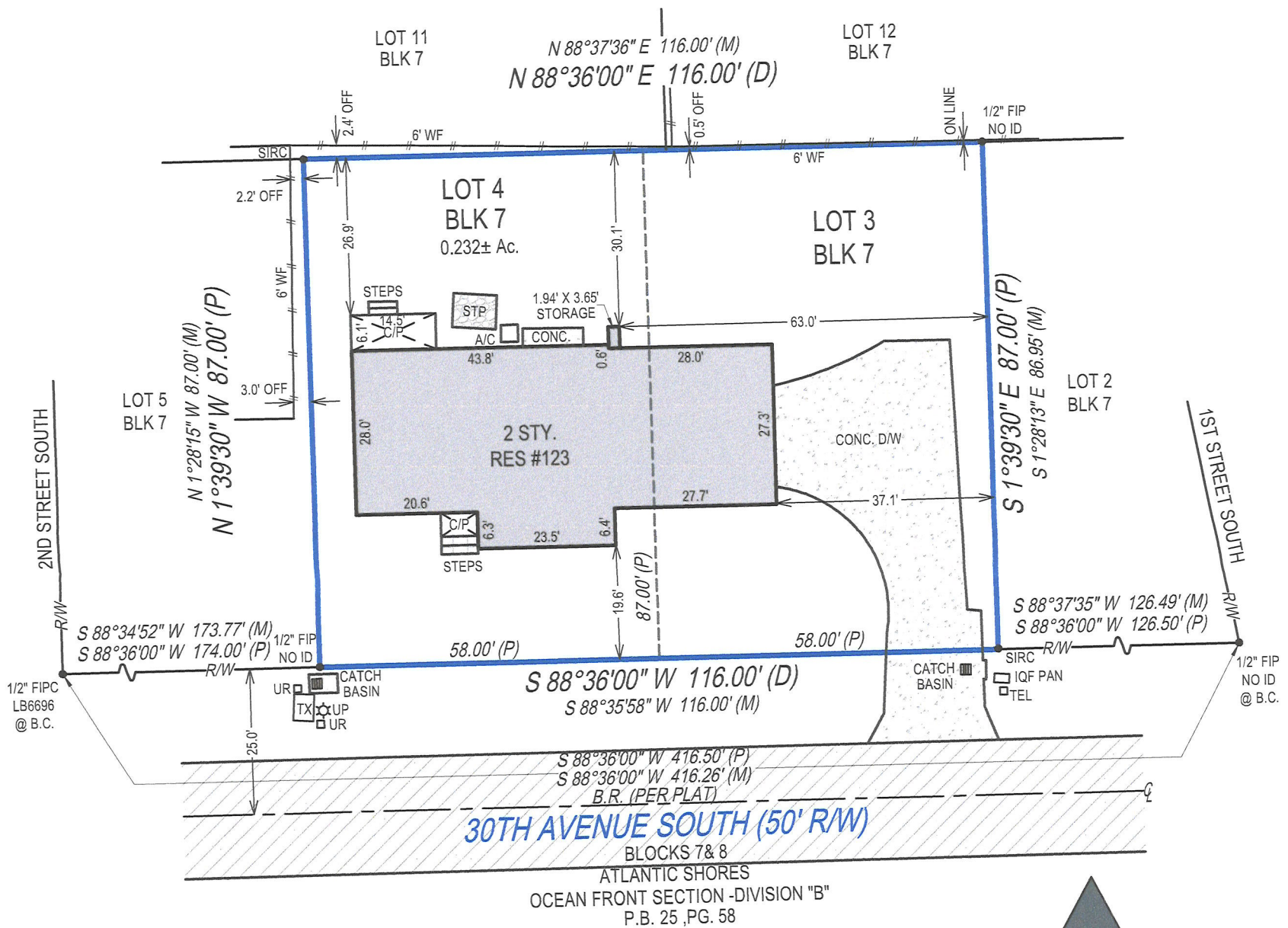
www.exactalands.com | office: 866.735.1916 | fax: 866.744.2882



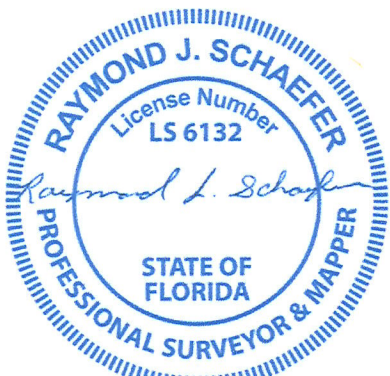
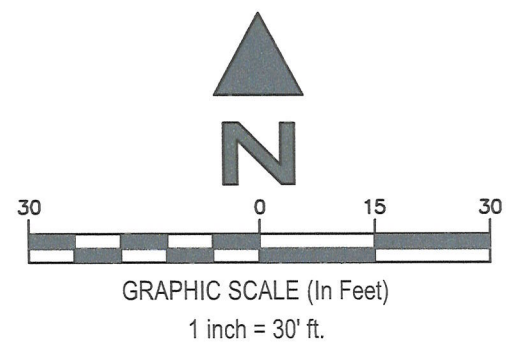
PROPERTY ADDRESS: 123 30TH AVENUE S, JACKSONVILLE BEACH, FLORIDA 32250

SURVEY NUMBER: FL2601.4622

FL2601.4622  
BOUNDARY SURVEY  
DUVAL COUNTY



SURVEYOR'S NOTES:  
FENCE OWNERSHIP NOT DETERMINED.



**RAYMOND J. SCHAEFER**  
State of Florida Professional Surveyor and Mapper  
License Number 6132  
Exacta Land Surveyors, LLC | LB# 8291

**SURVEYORS CERTIFICATION:**

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.

**POINTS OF INTEREST:  
NONE VISIBLE**

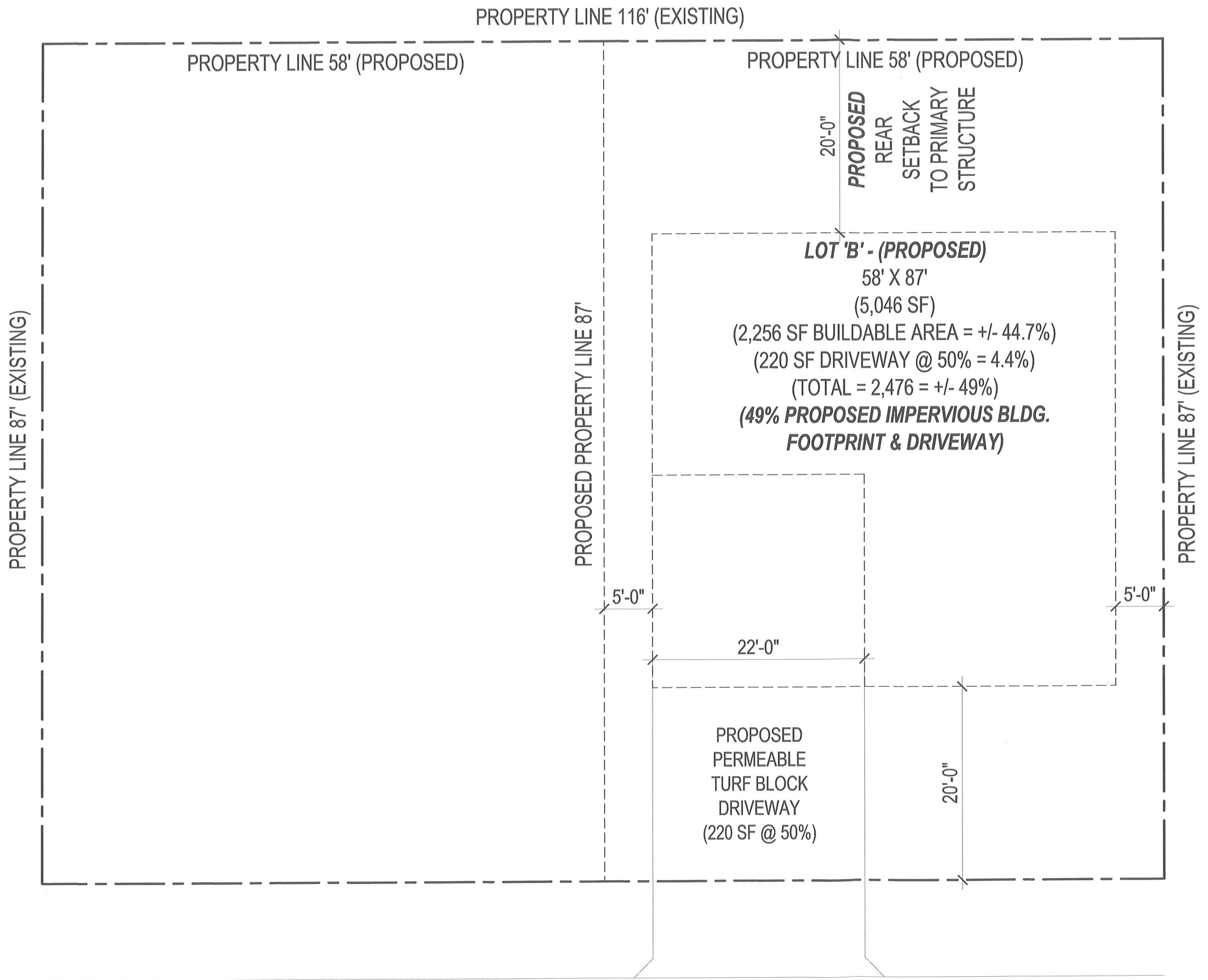


Exacta Land Surveyors, LLC  
LB# 8291  
o: 866.735.1916 | f: 866.744.2882  
131 West Broadway Street, Suite 1001, Oviedo, FL 32765



DATE SIGNED: 02/06/26  
FIELD WORK DATE: 2/4/2026  
REVISION DATE(S): (REV.1 2/6/2026)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



**NOTES:**

1. SEE SURVEY FOR DETAILED DIMENSIONS AND NOTES.
2. 2023 FLORIDA BUILDING CODE :
3. SEE SHEET S-1.0 FOR ADDITIONAL NOTES

**PROJECT INFORMATION:**

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS:  
 123 30TH AVE SOUTH  
 JACKSONVILLE BEACH, FL 32250

LEGAL DESCRIPTION:  
 03282 ATLANTIC SHORES DIV C R/P OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

TAX ASSESSORS PARCEL NO.: 181643-0000

ZONE: RS-1

LOT SIZE: 5,046 SF EACH)

STANDARD SETBACKS:

STREET / FRONT	25'
SIDE	10'
REAR	30'

**PROPOSED SETBACKS:**

**NEW LOT 'B':**

STREET / FRONT	<b>20' PROPOSED</b>
SIDE	<b>5' PROPOSED</b>
REAR	<b>20' PROPOSED (TO PRIMARY STRUCTURE)</b>

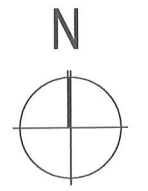
**49% LOT COVERAGE PROPOSED IMPERVIOUS BUILDING & DRIVEWAY**

30TH AVENUE SOUTH

1

**COVER SHEET / SITE PLAN**

3/32" = 1'-0"





# APPLICATION FOR VARIANCE

BOA NO. 26-100014  
HEARING DATE 3/17/26

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, **to scale** (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of **\$500.00** (due at the time of application submittal).
7. Completed application.

### APPLICANT INFORMATION

**Applicant Name:** Nick Stam **Telephone:** 904-608-9943  
**Mailing Address:** 317 Ponte Vedra Blvd **E-Mail:** nickstam@me.com  
Ponte Vedra Beach, FL 32082

**Agent Name:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_ **E-Mail:** \_\_\_\_\_

**Landowner Name:** Akoumia LLC **Telephone:** 904-608-9943  
**Mailing Address:** 317 Ponte Vedra Blvd **E-Mail:** nickstam@me.com  
Ponte Vedra Beach, FL 32082

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 123 30th Ave S. Jacksonville Beach, FL 32250 / RE # 181643-0000 Lot B  
 Legal description of property (Attach copy of deed): \_\_\_\_\_  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).  
 \_\_\_\_\_  
Lot B - front yard setback of 20' in lieu of 25', side yard setbacks of 5' in lieu of 10', rear yard setback of 20' in lieu of 30' and 43% lot coverage in lieu of 35%

### AFFIDAVIT

I, Nick Stam, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

\_\_\_\_\_  
 APPLICANT SIGNATURE Nick Stam PRINT APPLICANT NAME \_\_\_\_\_ DATE \_\_\_\_\_

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, who is personally known to me or produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
NOTARY PUBLIC SIGNATURE

\_\_\_\_\_  
PRINT NOTARY NAME

(Affix Notary Seal Above)

<b>THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE</b>	
<b>CURRENT ZONING CLASSIFICATION:</b> <u>OS-1</u>	<b>FLOOD ZONE:</b> _____
<b>CODE SECTION (s):</b> _____	
_____	
_____	
_____	
_____	

## **Variance Application: Professional Assistance Disclosure**

**Project Address:** 123 30th Ave S. Jacksonville Beach, FL 32250

In accordance with the requirements of the Jacksonville Beach Land Development Code, the following professionals are assisting in the preparation and/or representation of this variance application.

### **Architectural Professional**

- **Name:** Scott Rae
- **Firm Name:** Rae Designs LLC
- **Address:** 345 South Roscoe Blvd Ponte Vedra Beach, FL 32082
- **Telephone Number:** 727.483.2422
- **Email Address:** rutrae@gmail.com

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

<b>Standard</b>	<b>Applies? Yes/No</b>	<b>Circumstances/ Explanation</b>
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	yes	The lot does not meet minimum size or frontage requirements for RS-1 zoning. Each lot is a substandard, nonconforming lot in area and width
Special circumstances and conditions do not result from the actions of the applicant.	yes	Subject property circumstances and conditions are not the result of the applicant/owner.
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	yes	The subject property will not have any special privilege. Several non-conforming lots in this area have or will require variances for construction.
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	yes	Strict adherence to the code would impose an undue hardship, depriving the applicant of privileges typically granted to other residential properties facing similar lot size and compliance constraints
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	yes	The Applicant and their Architect have developed a site plan representing the minimum variance necessary for reasonable use, carefully balancing existing site constraints with current code
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	yes	Granting the variance aligns with the core intent and policy framework of the Comprehensive Plan. The requested relief will not result in any negative impacts on adjacent land

Prepared by and return to:  
Mary Callaway  
Ponte Vedra Title, LLC  
50 A1A North, Suite 108  
Ponte Vedra Beach, FL 32082

File Number: 26-1051

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(Space Above This Line For Recording Data)

## Warranty Deed

**This Warranty Deed** made this 10th day of February, 2026, between Richard V. Elder, Jr., a married man, whose post office address is 1201 Seawood Drive, Neptune Beach, FL 32266, Nancy E. Asbury, a married woman, whose post office address is 2924 Country Squire Lane, Decatur GA 30033, and William G. Elder, a married man, whose post office address is 5875-1 Atlantic Blvd, Jacksonville FL 32207, grantor, and Akoumia LLC, a Florida Limited Liability Company, whose post office address is 317 Ponte Vedra Boulevard, Ponte Vedra Beach, FL 32082, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Duval County, Florida, to-wit:

**Lot 3 and 4, Block Seven 7, ATLANTIC SHORES OCEAN FRONT SECTION - DIVISION C, according to Plat thereof recorded in Plat Book 17, page 21, of the Current Public Records of Duval County, Florida.**

**Parcel Identification Number: 181643-0000**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**SUBJECT TO** covenants, conditions, restrictions, easements of record and taxes for the current year.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except as specified herein.

The property described in this instrument is not, nor has it ever been, the constitutional homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) nor any members of the household(s) of Grantor(s) reside thereon or have ever resided thereon.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Two Different Witnesses have signed and provided their Post Office Address below (the Notary may be one of the Witnesses) and neither the Notary, nor any Witness, is related to the grantor or has a beneficial interest in the sale of the property described in this Warranty Deed.

Signed, sealed and delivered in our presence:

[Signature]  
Witness 1 Signature  
Timothy Shippee

Witness 1 Printed Name

50 A1A N. Suite 108  
Witness 1 Address (Street)

Ponte Vedra Beach, FL 32082  
Witness 1 Address (City, ST Zip)

Witness 2 Signature

[Signature]  
Mary Callaway

Witness 2 Printed Name

50 A1A North Sk 108  
Witness 2 Address (Street)

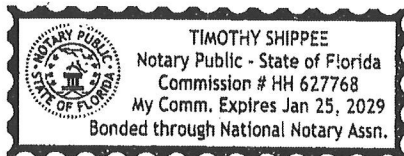
Ponte Vedra Bch FL 32082  
Witness 2 Address (City, ST Zip)

[Signature]  
Richard V. Elder, Jr.

[Signature]  
William G. Elder

State of Florida  
County of St Johns

The foregoing instrument was acknowledged before me by means of  Physical Presence or  Online Notarization, this 6 day of February, 2026, by Richard V. Elder Jr., a married man, and William G. Elder a married man, who  are personally known to me or  have produced Valid D.L. as identification.



[Signature]  
NOTARY PUBLIC Timothy Shippee  
Printed Name: \_\_\_\_\_  
My Commission Expires: 1/25/29

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Two Different Witnesses have signed and provided their Post Office Address below (the Notary may be one of the Witnesses) and neither the Notary, nor any Witness, is related to the grantor or has a beneficial interest in the sale of the property described in this Warranty Deed.

Signed, sealed and delivered in our presence:

**Witnesses: Sign, Print Names, Write Mailing Addresses**

Bill Dean

Witness 1 Signature

Bill Dean

Witness 1 Printed Name

1110 Monterey Village

Witness 1 Address (Street)

Jonesboro GA 30236

**Witnesses: Sign, Print Names, Write Mailing Addresses**

Briana Polen

Witness 2 Signature

Briana Polen

Witness 2 Printed Name

1072 Chesapeake Trail

Witness 2 Address (Street)

Rox, GA 30273

Witness 2 Address (City, ST Zip)

Nancy E. Asbury **Sign Here**  
Nancy E. Asbury

State of Georgia  
County of DeKalb

The foregoing instrument was acknowledged before me by means of  Physical Presence or  Online Notarization, this 4 day of February, 2026, by Nancy E. Asbury, a married woman, who  are personally known to me or  have produced Drivers License as identification.

**Notarize Here**

Briana Polen  
NOTARY PUBLIC  
Printed Name: Briana Polen  
My Commission Expires: 10-5-2029



**PUBLIC NOTICE**

The Board of Adjustment for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m.** in the **City Council Chambers**, located at **11 North 3rd Street**, Jacksonville Beach, Florida to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(e)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North 1/2 of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South 1/2 of Lots 11 and 12, Block 89, Oceanside Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West 1/2 of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach

**NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-*

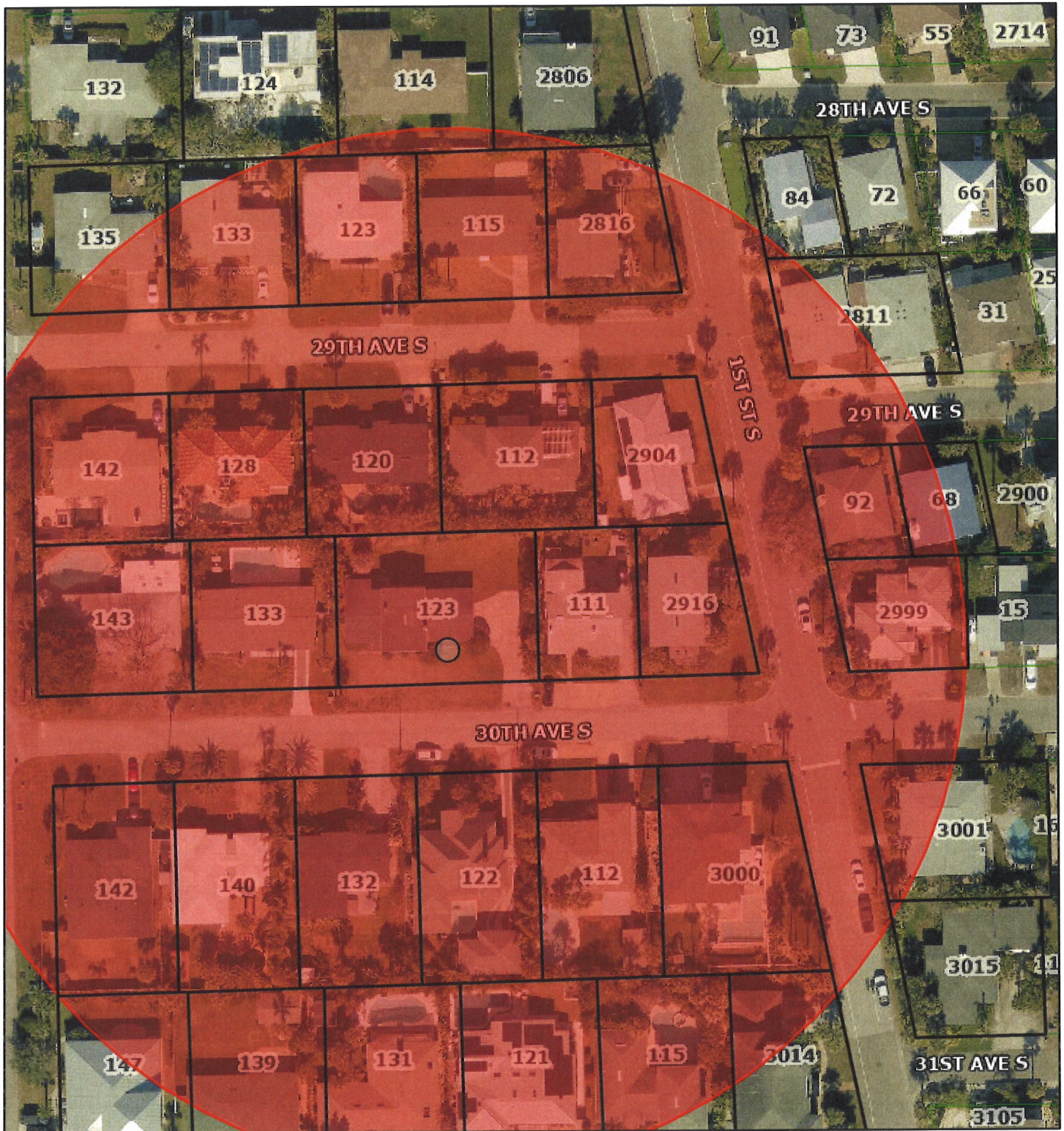
*tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jacobchfl.net](mailto:planning@jacobchfl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

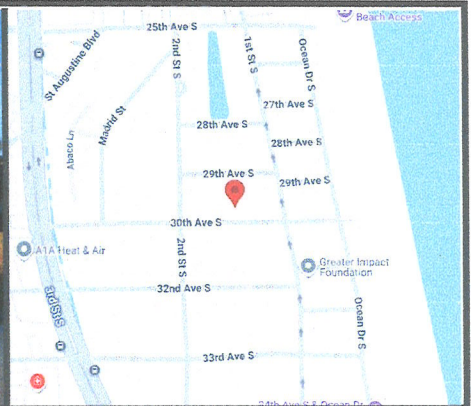
*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

Mar. 5 00 (26-01326D)





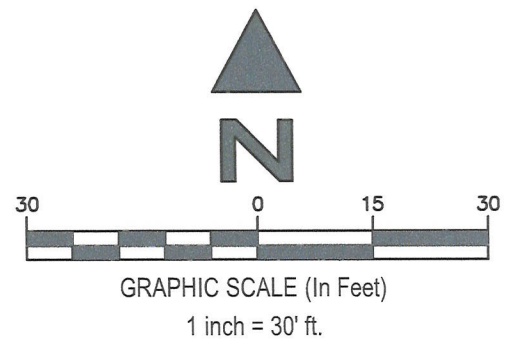
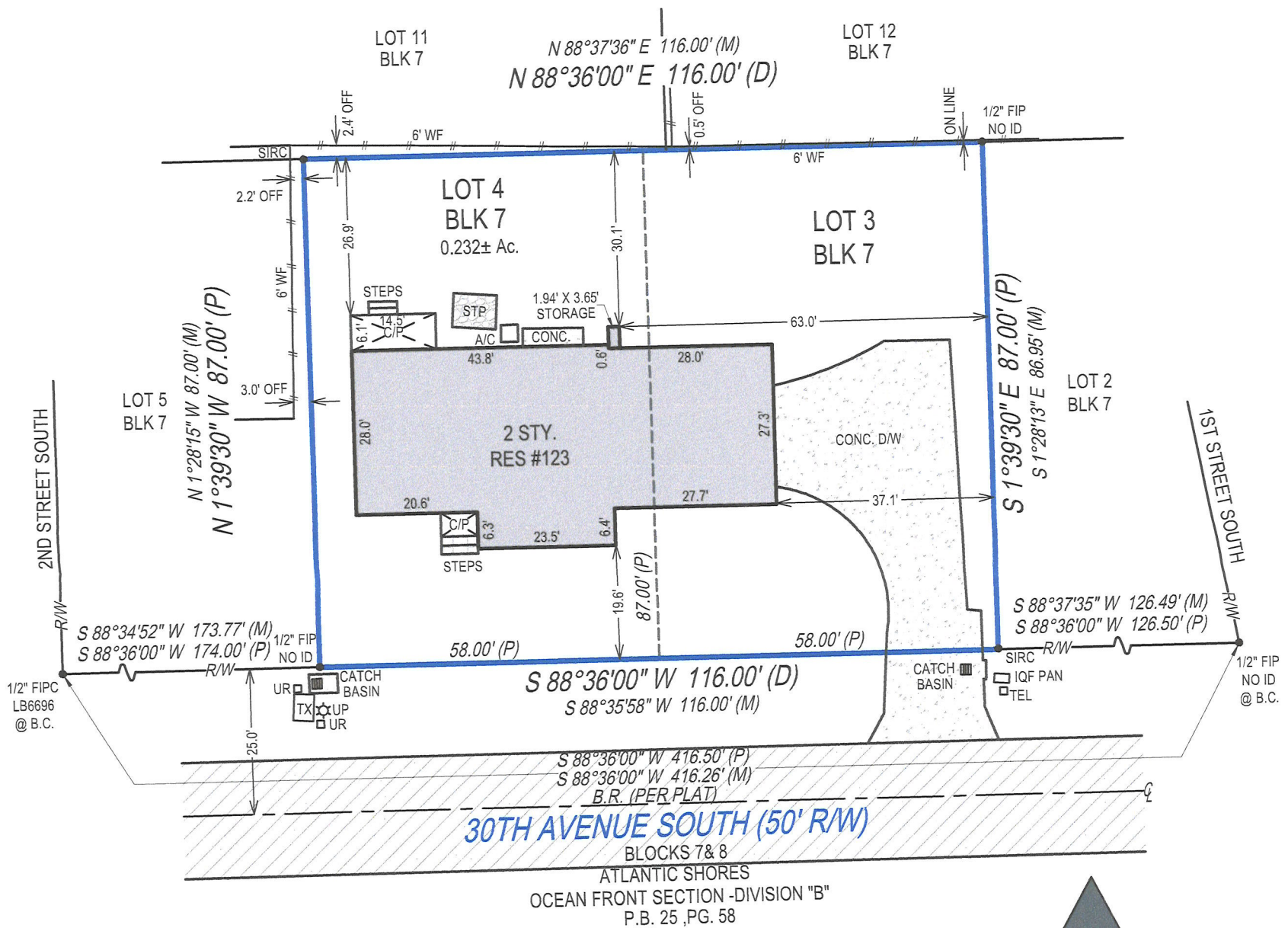
www.exactalands.com | office: 866.735.1916 | fax: 866.744.2882



PROPERTY ADDRESS: 123 30TH AVENUE S, JACKSONVILLE BEACH, FLORIDA 32250

SURVEY NUMBER: FL2601.4622

FL2601.4622  
BOUNDARY SURVEY  
DUVAL COUNTY



SURVEYOR'S NOTES:  
FENCE OWNERSHIP NOT DETERMINED.



**RAYMOND J. SCHAEFER**  
State of Florida Professional Surveyor and Mapper  
License Number 6132  
Exacta Land Surveyors, LLC | LB# 8291

**SURVEYORS CERTIFICATION:**

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-17.050 through 5J-17.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.

**POINTS OF INTEREST:**  
NONE VISIBLE

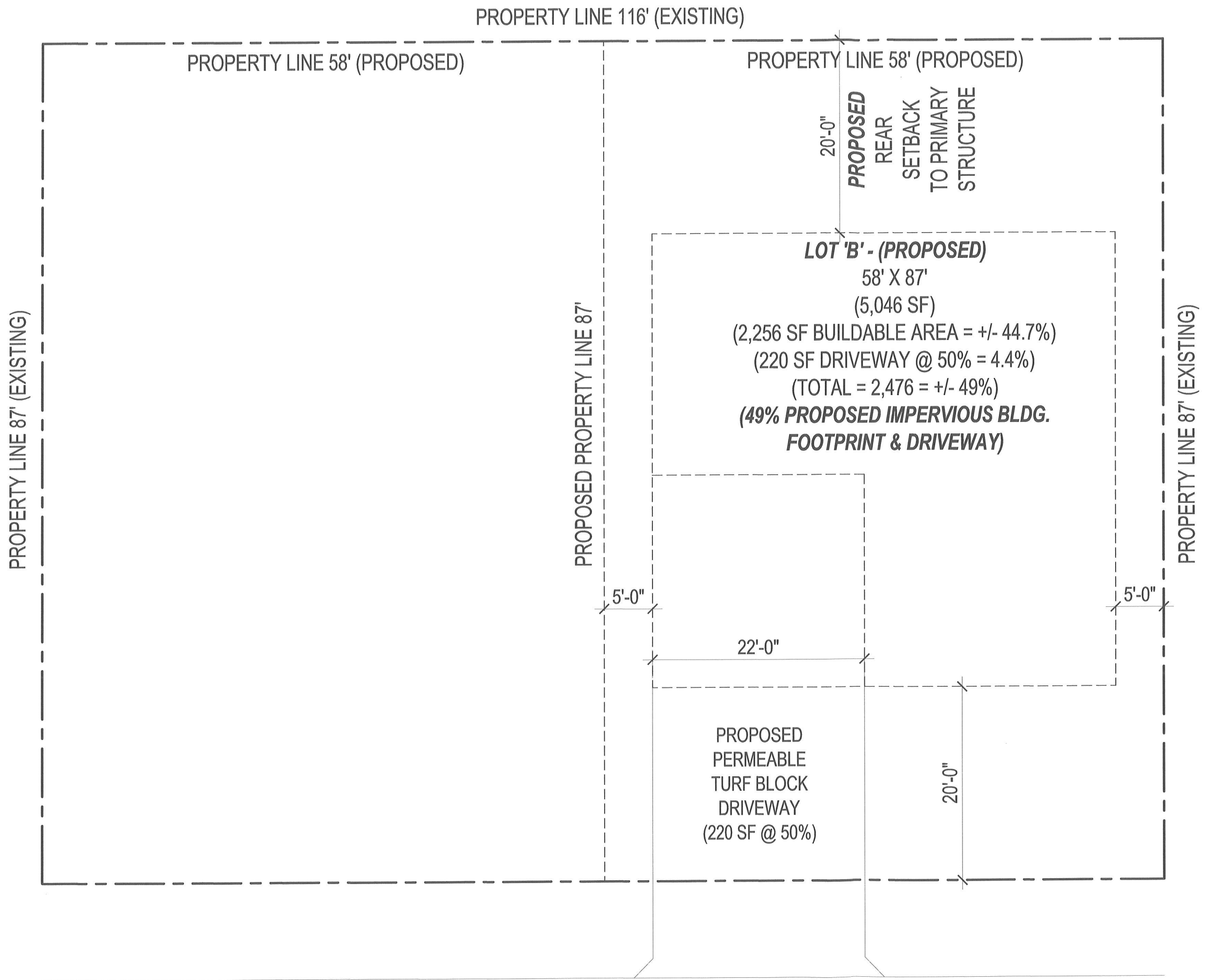


Exacta Land Surveyors, LLC  
LB# 8291  
o: 866.735.1916 | f: 866.744.2882  
131 West Broadway Street, Suite 1001, Oviedo, FL 32765



DATE SIGNED: 02/06/26  
FIELD WORK DATE: 2/4/2026  
REVISION DATE(S): (REV.1 2/6/2026)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



PROPERTY LINE 116' (EXISTING)

PROPERTY LINE 58' (PROPOSED)

PROPERTY LINE 58' (PROPOSED)

PROPERTY LINE 87' (EXISTING)

PROPOSED PROPERTY LINE 87'

PROPERTY LINE 87' (EXISTING)

**LOT 'B' - (PROPOSED)**

58' X 87'

(5,046 SF)

(2,256 SF BUILDABLE AREA = +/- 44.7%)

(220 SF DRIVEWAY @ 50% = 4.4%)

(TOTAL = 2,476 = +/- 49%)

**(49% PROPOSED IMPERVIOUS BLDG. FOOTPRINT & DRIVEWAY)**

20'-0"  
**PROPOSED REAR SETBACK TO PRIMARY STRUCTURE**

5'-0"

22'-0"

5'-0"

20'-0"

PROPOSED PERMEABLE TURF BLOCK DRIVEWAY  
(220 SF @ 50%)

30TH AVENUE SOUTH

**NOTES:**

1. SEE SURVEY FOR DETAILED DIMENSIONS AND NOTES.
2. 2023 FLORIDA BUILDING CODE :
3. SEE SHEET S-1.0 FOR ADDITIONAL NOTES

**PROJECT INFORMATION:**

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

PROJECT ADDRESS:

123 30TH AVE SOUTH  
JACKSONVILLE BEACH, FL 32250

LEGAL DESCRIPTION:

03282 ATLANTIC SHORES DIV C R/P OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

TAX ASSESSORS PARCEL NO.: 181643-0000

ZONE: RS-1

LOT SIZE: 5,046 SF EACH)

STANDARD SETBACKS:

STREET / FRONT	25'
SIDE	10'
REAR	30'

**PROPOSED SETBACKS:**

**NEW LOT 'B':**

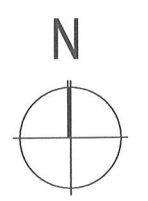
STREET / FRONT	<b>20' PROPOSED</b>
SIDE	<b>5' PROPOSED</b>
REAR	<b>20' PROPOSED (TO PRIMARY STRUCTURE)</b>

**49% LOT COVERAGE PROPOSED IMPERVIOUS BUILDING & DRIVEWAY**

1

**COVER SHEET / SITE PLAN**

3/32" = 1'-0"





BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-100015 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-100015**

ZONING: C-1  
 RE NO.: 175963-0000  
 LEGAL: The North ½ of Lots 1 and 2, Block 53, *Pablo Beach South*  
 ADDRESS: 504 S 2nd St

**REQUEST:**

**Section(s):** 34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for a corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home.

**EXISTING CONDITIONS:**

The subject property contains an existing historic single-family residence constructed in 1934 on a lot platted in 1909. The structure is representative of Jacksonville Beach’s original residential development pattern and includes early masonry concrete block construction typical of the period. The structure predates the adoption of modern zoning regulations and is therefore considered legally nonconforming with respect to setbacks and lot coverage. Due to the age of the building, portions of the foundation and structural systems have deteriorated. It requires rehabilitation to ensure the continued safety and viability of the structure. The property is located on a corner lot, and the long-established footprint of the structure, combined with narrow yard areas and masonry construction, limits the ability to modify the building to meet current dimensional standards without significant structural impacts or demolition.

The applicant proposes to rehabilitate, stabilize, and modernize the existing structure while expanding the building to accommodate a second dwelling unit, allowing the property to function as multifamily residential, which is a permitted use within the C-1 zoning district subject to Conditional Use approval. A companion Conditional Use application is being submitted concurrently.

In order to facilitate the rehabilitation and modest expansion of the existing structure, the applicant is requesting the following variances for: a front yard setback of 3.7 feet in lieu of 20 feet minimum, an interior corner side yard of 3.9 feet in lieu of 10 feet minimum for a corner side yard of 4.5 feet in lieu

AGENDA ITEM:	D.
MEETING DATE:	March 17, 2026



of 10 feet minimum, and for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards. The variances address existing nonconformities and allows for the expansion of the structure to accommodate a second dwelling unit. The requested variances are intended to address the existing dimensional nonconformities associated with the historic structure and to allow limited expansion necessary to accommodate the new accessory dwelling unit.

There are no previous BOA cases for the subject property.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

The existing structure was constructed decades prior to the adoption of current zoning regulations and has maintained its current placement on the property since that time. As a result, the structure does not conform to present-day setbacks and lot coverage requirements. The property's corner lot orientation, narrow yard areas, and historic building footprint significantly constrain redevelopment options. Due to the structure's masonry block construction and historic character, relocating the structure or redesigning the building's footprint to meet modern setback requirements would be impractical without demolition. The applicant has indicated that the intent of the project is to preserve and rehabilitate the historic structure while bringing the property into functional compliance with the C-1 zoning district by introducing a second dwelling unit and allowing the property to operate as a multifamily residential property.

Special conditions exist on the property due to the historic placement of the structure, the corner lot configuration, and the limited yard areas associated with the original development pattern of Jacksonville Beach. These conditions constrain the ability to modify the structure in a manner that fully complies with current dimensional standards. The proposed design works largely within the established footprint of the existing structure and avoids increasing impacts on adjacent properties to the greatest extent practicable. The requested variances represent the minimum relief necessary to stabilize the structure, complete foundation improvements, and accommodate a modest second dwelling unit.

The proposed project supports continued productive use of an existing structure and encourages reinvestment within the community. The project promotes preservation of an early 1900s residence, improves structural safety, and supports compatible infill development within an established area of the City. The applicant is proposing to rehabilitate and expand an existing historic structure that predates modern zoning regulations. The requested variances are associated with the historic placement and physical constraints of the property and are intended to facilitate structural rehabilitation and allow the property to function as a permitted multifamily use within the C-1 zoning district. Approval of the requested variances would allow for preservation and reinvestment in a historically significant structure while maintaining compatibility with the surrounding area.

**MINIMUM DIMENSIONAL STANDARDS:**

**C-1 Zoning with RM-1 Standards**

- Minimum lot area: Five thousand (5,000) square feet
- Minimum lot width: Seventy-five (50) feet at the building line. A minimum of thirty-five (35) feet at the street.

- Minimum yards:
  - Front yard: 20 feet.
  - Side yard: Five (5) feet for each side yard, except when the lot is a corner lot. For a corner lot, the side yard on the corner shall be twenty (20) percent of the lot width or ten (10) feet, whichever is greater, except the side yard is never required to exceed twenty (15) feet.
  - Rear yard: Twenty (20) feet.
- Minimum floor area: A single-family dwelling unit shall contain a minimum of one thousand (1,000) square feet of conditioned living area and a one (1) car garage. Garages shall not be included as part of the single-family dwelling unit's minimum square footage.
- Maximum lot coverage for primary structure and required driveway: Thirty-five (35) percent.
- Maximum Impervious Surface: Fifty (50) percent.
- Maximum height: 35 feet.
- Accessory structures: Accessory uses and structures pursuant to Section 34-716: All accessory structures shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

**REVIEW OF CRITERIA:**

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there are conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure.

Due to the historic placement of the structure, the corner lot configuration, and the limited yard areas associated with the original development pattern of Jacksonville Beach. These conditions constrain the ability to modify the structure in a manner that fully complies with current dimensional standards.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances are a result of actions of the applicant.

The dimensional nonconformities associated with the structure were established long before the adoption of the current zoning standards and were not created by the current applicant or property owner.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges will not be afforded to the applicant by granting a variance.

Granting the requested variances would not confer a special privilege denied to other properties within the C-1 zoning district. Other historically developed properties with similar nonconforming conditions may seek comparable relief where appropriate.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code **would** deprive the applicant of rights enjoyed by other parcels of land.

Strict enforcement of the current setback and lot coverage standards would significantly limit the ability to rehabilitate or reinvest in the property. Without relief, meaningful structural rehabilitation and adaptation of the property for a conforming multifamily use permitted within the district would be impractical. Strict application of the code could discourage preservation of the existing historic structure.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested **are** necessary to make possible a reasonable use of the parcel of land, building, or structure.

The proposed design works largely within the established footprint of the existing structure and avoids increasing impacts on adjacent properties to the greatest extent practicable. The requested variances represent the minimum relief necessary to stabilize the structure, complete foundation improvements, and accommodate a modest second dwelling unit.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) **will not** result in the creation of a public nuisance.

The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100015**.

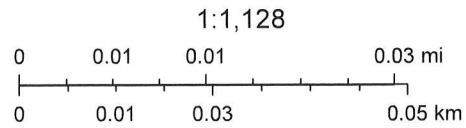
**ATTACHMENTS:**

1. 26-100015pics
2. BOA#26-100015 Application



March 5, 2026

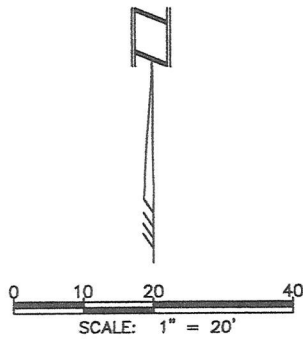
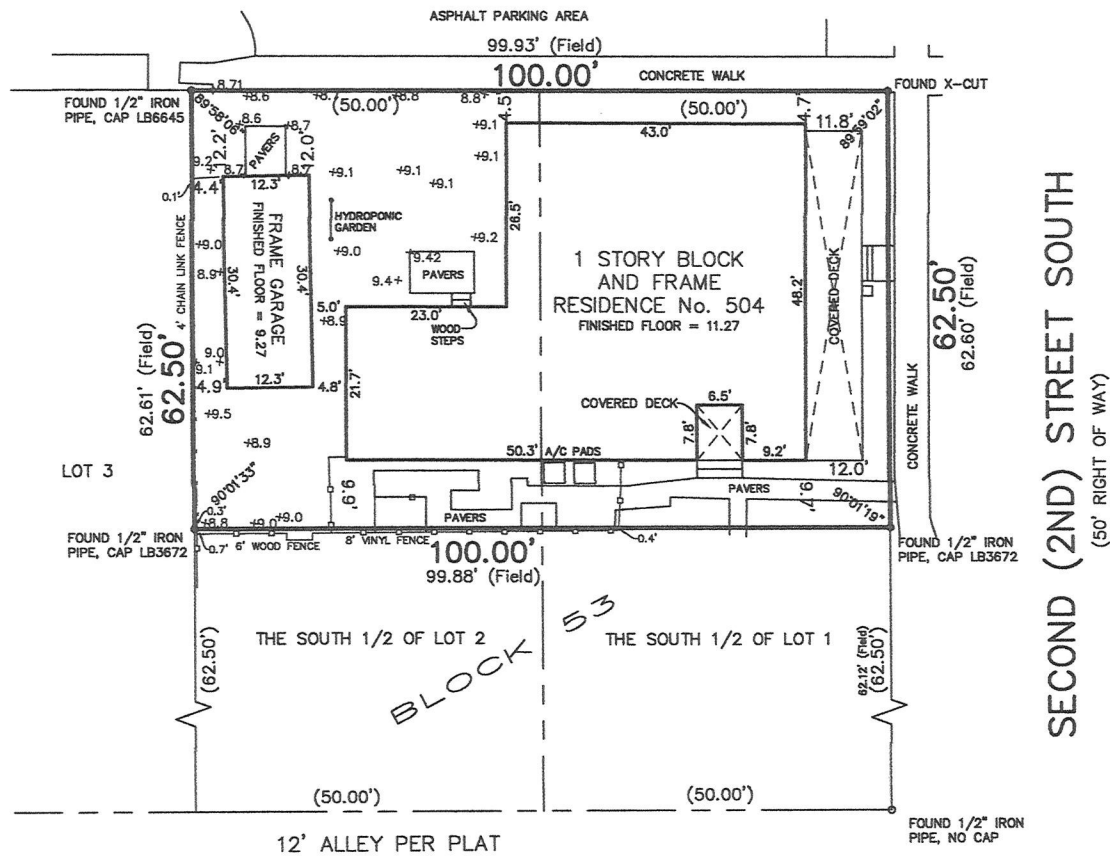
Parcels



# MAP SHOWING SURVEY OF

THE NORTH 1/2 OF LOTS 1 AND 2, BLOCK 53, PABLO BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 28, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

## FIFTH (5TH) AVENUE SOUTH (FORMERLY MANN AVENUE) (80' RIGHT OF WAY)



BENCH MARK: FOUND  
MAGNAIL & DISK (LB3672)  
ELEVATION = 9.06  
N.A.V.D. 1988

**IMPERVIOUS CALCULATIONS  
(IN SQUARE FEET (S.F.))**

LOT AREA	= 6,250 S.F.
HOUSE AREA	= 2,523 S.F.
GARAGE AREA	= 374 S.F.
CONCRETE/PAVERS	= 419 S.F.
DECKS AND STEPS	= 464 S.F.
TOTAL IMPERVIOUS	= 3,780 S.F.
	= 60.5%

**NOTES**

1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY.
2. ALL ANGLES WERE FIELD VERIFIED.
3. NORTH PROTRACTED FROM PLAT.
4. NO BUILDING RESTRICTION LINES PER PLAT.
5. BENCH MARK AS SHOWN HEREON WAS ESTABLISHED FROM NGS BENCH MARK No. U 323

THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS WELL AS CAN BE DETERMINED FROM FLOOD INSURANCE RATE MAP No. 12109C0417J, EFFECTIVE NOVEMBER 2, 2018 FOR DUVAL COUNTY, FLORIDA.

THIS SURVEY WAS MADE FOR THE BENEFIT OF  
JEFFREY & GRACE MAXWELL.

**DONN W. BOATWRIGHT, P.S.M.**  
FLORIDA LIC. SURVEYOR and MAPPER No. LS 3295  
FLORIDA LIC. SURVEYING & MAPPING BUSINESS No. LB 3672

\*NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.\*

CHECKED BY: \_\_\_\_\_  
DRAWN BY: SWC  
FILE: 2020-1452

**BOATWRIGHT LAND SURVEYORS, INC.**  
1500 ROBERTS DRIVE, JACKSONVILLE BEACH, FLORIDA 241-8550

DATE:  
NOVEMBER 24, 2020  
SHEET 1 OF 1





# APPLICATION FOR VARIANCE

BOA No. 26-100015

HEARING DATE 3/7/26

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, to scale (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of **\$500.00** (due at the time of application submittal).
7. Completed application.

RECEIVED

FEB 17 2026

PLANNING DEPARTMENT

### APPLICANT INFORMATION

**Applicant Name:** Jeffrey and Grace Maxwell **Telephone:** (904) 553-8785  
**Mailing Address:** 504 2nd Street South, Jacksonville Beach, Florida 32250 **E-Mail:** jeffwmaxwell@gmail.com

**Agent Name:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_ **E-Mail:** \_\_\_\_\_

**Landowner Name:** Jeffrey and Grace Maxwell **Telephone:** (904) 553-8785  
**Mailing Address:** 504 2nd Street South, Jacksonville Beach, Florida 32250 **E-Mail:** jeffwmaxwell@gmail.com

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 504 2nd Street South, Jacksonville Beach, Florida 32250 / 175963-0000  
 Legal description of property (Attach copy of deed): 3-28 33-2S-29E PABLO BEACH SOUTH N 1/2 LOTS 1,2 BLK 53  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).  
See attached

### AFFIDAVIT

I, Jeffrey and Grace Maxwell, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

[Signature] Jeffrey and Grace Maxwell \_\_\_\_\_  
 APPLICANT SIGNATURE PRINT APPLICANT NAME DATE

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this 17 day of February, 2026 by Jeffrey Maxwell, who is personally known to me or produced [Signature] as identification.

[Signature]  
 NOTARY PUBLIC SIGNATURE  
Callie Rayeski-Bowling  
 PRINT NOTARY NAME



**CALLIE RAYESKI-BOWLING**  
 Commission # HH 617978  
 Expires March 15, 2029 (Affix Notary Seal Above)

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: C-1 FLOOD ZONE: \_\_\_\_\_

CODE SECTION (S): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	Yes	See attached
Special circumstances and conditions do not result from the actions of the applicant.	Yes	See attached
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	Yes	See attached
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	Yes	See attached
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	Yes	See attached
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	Yes	See attached

Variance Application: Jeffrey and Grace Maxwell, 504 2<sup>nd</sup> Street South, Jacksonville Beach, Florida 32250

The subject property contains an existing historic single-family residence constructed in the early 1900s, is representative of Jacksonville Beach's original residential development pattern, and features early concrete block construction. Over time, the foundation and structural systems have deteriorated and now require substantial rehabilitation to ensure the continued safety and viability of the building.

The structure predates adoption of modern zoning standards and is therefore legally nonconforming as to setbacks and lot coverage. Its long-established footprint, corner lot orientation, and masonry block construction make relocation or redesign to meet current dimensional standards impractical without demolition. Rather than remove a historic structure, the Applicant seeks to preserve, stabilize, and modernize the home while adding a second dwelling unit so the property may function as multifamily, a permitted use within the C-1 zoning district. A companion Conditional Use application is being submitted concurrently.

**Requested Variances:**

For a front yard setback of 3.7 feet in lieu of 20 feet minimum, for an interior corner side yard of 3.9 feet in lieu of 10 feet minimum, for a corner side yard setback of 4.5 feet in lieu of 12.5 feet minimum, For a rear yard of 5 feet in lieu of 20 feet minimum, and for lot coverage of 75% in lieu of 65% maximum. The request is to address existing nonconformities with the existing structure, and to allow for the expansion of the structure to accommodate a second dwelling unit, to bring the use into conformity with the C-1 zoning district requirements for multifamily, as we cannot expand an existing, historic single family dwelling in C-1.

**Special Conditions.** The historic structure's pre-existing placement, narrow yards, and corner configuration uniquely constrain the lot and limit conforming expansion opportunities.

**Not Self-Created.** The dimensional nonconformities were established decades before current regulations and were not created by the Applicant.

**No Special Privilege.** Granting the requested variances will not confer any special privilege denied to other properties in the C-1 district. The relief allows this historically developed, pre-existing structure to continue and be reasonably improved under constraints that are unique to the lot and building. Other similarly situated nonconforming or historic properties with comparable conditions would be eligible for the same relief. The request does not seek additional density beyond what is otherwise permitted in the district, but only the minimum dimensional flexibility necessary to rehabilitate the property for a permitted multifamily use.

**Literal Enforcement Hardship.** Strict application of current setbacks and lot coverage would effectively prevent meaningful reinvestment or expansion of the existing structure and would make it impractical to adapt the property to a conforming multifamily use permitted in the C-1 district. Without relief, the property would be limited to an aging structure that cannot be modernized or improved. Strict enforcement would effectively prevent reinvestment, structural rehabilitation, or adaptation of the property and would discourage preservation of the historic home.

**Minimum Relief.** The design works largely within the established footprint and avoids increasing impacts toward adjacent properties. The requested relief is the minimum necessary to stabilize the structure, complete foundation improvements, and accommodate a modest second unit.

**Consistency with Code Intent.** The request supports continued productive use of an existing structure, encourages redevelopment and housing opportunities, and furthers Comprehensive Plan goals related to preservation and compatible infill development. Approval promotes preservation of an early 1900s residence rather than demolition, improves safety and building code compliance, and maintains neighborhood scale and character. The project represents reinvestment in an aging property and aligns the use with C-1 zoning through multifamily residential.

Prepared by and return to:  
Craig M. Herzog  
Action Title Services of St. Johns County, Inc.  
3670 US 1 South, Suite 110  
St. Augustine, Florida 32086  
File Number: 12-7572

Space Above this Line for Recording Date

**THIS SPECIAL WARRANTY DEED**

Made this day of, Friday, May 18<sup>th</sup>, 2012 by Tiger Investment Group, Inc., a Florida Corporation (hereinafter referred to as grantor) to Jeffrey Maxwell and Grace Maxwell, husband and wife whose post office address is 170 A1A North, Suite 200, Ponte Vedra Beach, FL 32082 (Hereinafter referred to as grantee).

(Wherever used herein the terms "grantor" and "grantee" include all parties to this instrument and the heirs, legal representation, and assigns of individuals, and the successors and assigns of corporation.)

**WITNESSETH**, That the grantor, for and in consideration of the sum of \$211,600.00 (Two Hundred Eleven Thousand Six Hundred dollars & no cents) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, allens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in Duval County, State of Florida, viz:

The North half of Lots 1 & 2, Block 53, Pablo Beach South, according to the plat thereof, recorded in Plat Book 3, Page 28, of the Public Records of Duval County, Florida.

Parcel ID Number: 175963-0000

Property is not the homestead of the grantor.

TOGETHER with all tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

Subject, however, to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions or requirements imposed by governmental authorities, if any.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; and that the said land is free of all encumbrances except taxes accruing subsequent to December 31, 2011 and hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said grantor.

IN WITNESS WHEREOF, the said grantor has hereto set his/her hand(s) and seal(s) the day and year first above written.  
Signed, sealed and delivered in our presence:

Joyce Guthrie  
Witness  
Printed Name Joyce Guthrie

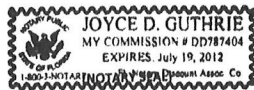
Michelle Bushway (Seal)  
Tiger Investment Group, Inc.  
by Michelle Bushway, Its Vice President  
Address: 10151 Deerwood Park Blvd, Building 100, Ste 410,  
Jacksonville, FL 32256

Jane DelPurgatorio  
Witness  
Printed Name Jane DelPurgatorio

State of Florida Pinellas  
County of Pinellas

The foregoing instrument was acknowledged before me this May 18<sup>th</sup>, 2012, by Michelle Bushway, Vice President of Tiger Investment Group, Inc., a Florida Corporation, who is/are personally known to me or who has produced as identification and who has taken an oath.

Joyce Guthrie  
Notary Public  
Print Name: Joyce Guthrie  
My Commission Expires \_\_\_\_\_



**PUBLIC NOTICE**

The Board of Adjustment for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m.** in the **City Council Chambers**, located at **11 North 3rd Street**, Jacksonville Beach, Florida to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(e)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit #**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North 1/2 of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South 1/2 of Lots 11 and 12, Block 89, Oceanside Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West 1/2 of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach  
**NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-*

*tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbehl.net](mailto:planning@jaxbehl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

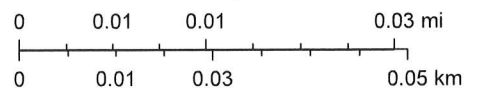
Mar. 5 00 (26-01326D)



March 5, 2026

 Parcels

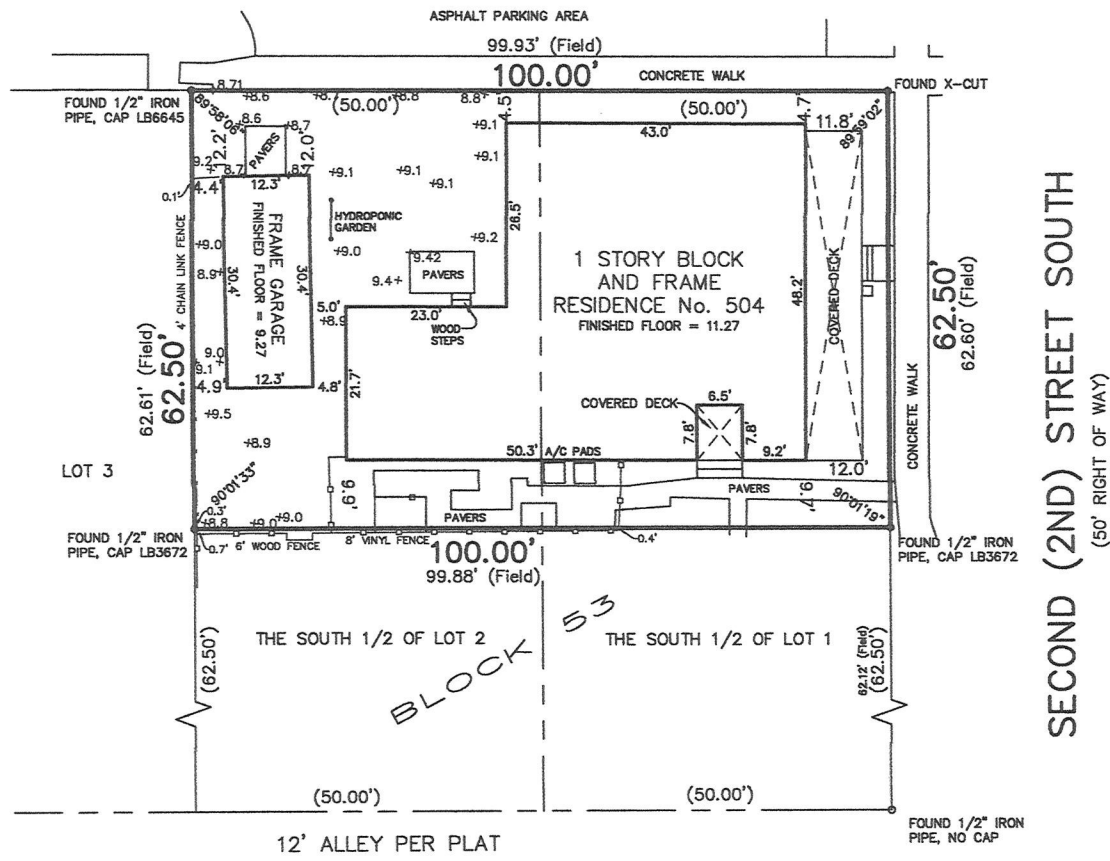
1:1,128



# MAP SHOWING SURVEY OF

THE NORTH 1/2 OF LOTS 1 AND 2, BLOCK 53, PABLO BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 28, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

## FIFTH (5TH) AVENUE SOUTH (FORMERLY MANN AVENUE) (80' RIGHT OF WAY)



BENCH MARK: FOUND  
MAGNAIL & DISK (LB3672)  
ELEVATION = 9.06  
N.A.V.D. 1988

### IMPERVIOUS CALCULATIONS (IN SQUARE FEET (S.F.))

LOT AREA	= 6,250 S.F.
HOUSE AREA	= 2,523 S.F.
GARAGE AREA	= 374 S.F.
CONCRETE/PAVERS	= 419 S.F.
DECKS AND STEPS	= 464 S.F.
TOTAL IMPERVIOUS	= 3,780 S.F.
	= 60.5%

- NOTES
1. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY.
  2. ALL ANGLES WERE FIELD VERIFIED.
  3. NORTH PROTRACTED FROM PLAT.
  4. NO BUILDING RESTRICTION LINES PER PLAT.
  5. BENCH MARK AS SHOWN HEREON WAS ESTABLISHED FROM NGS BENCH MARK No. U 323

THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS WELL AS CAN BE DETERMINED FROM FLOOD INSURANCE RATE MAP No. 12109C0417J, EFFECTIVE NOVEMBER 2, 2018 FOR DUVAL COUNTY, FLORIDA.

THIS SURVEY WAS MADE FOR THE BENEFIT OF  
JEFFREY & GRACE MAXWELL.

*Donn W. Boatwright*  
**DONN W. BOATWRIGHT, P.S.M.**  
FLORIDA LIC. SURVEYOR and MAPPER No. LS 3295  
FLORIDA LIC. SURVEYING & MAPPING BUSINESS No. LB 3672

\*NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.\*

CHECKED BY: \_\_\_\_\_  
DRAWN BY: SWC  
FILE: 2020-1452

**BOATWRIGHT LAND SURVEYORS, INC.**  
1500 ROBERTS DRIVE, JACKSONVILLE BEACH, FLORIDA 241-8550

DATE:  
NOVEMBER 24, 2020  
SHEET 1 OF 1





BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-100016 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-100016**

ZONING: RS-3  
 RE NO.: 176614-0000  
 LEGAL: The South ½ of Lots 11 and 12, Block 89, *Oceanside Park*  
 ADDRESS: 803 S 9th Ave

**REQUEST:**

**Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new townhomes.

**EXISTING CONDITIONS:**

The subject property is located in the Medium Density Residential future land use category, and is in the Residential, single-family: RS-3 zoning district. The subject site consists of a single-family lot of record, circa 1922. The property measures 100 feet in width on the south and 60 in depth, with an overall lot area of 6,000 square feet. The property is currently occupied by a single-family home, built in 1958. The subject property consists of the southern half of original Lots 11 and 12, historically platted with 50-foot by 125-foot standard lot dimensions typical of Jacksonville Beach development. The property has been replatted, resulting in an irregular configuration that is unique compared to surrounding parcels in the neighborhood. The surrounding area is primarily developed with single-family and two-family residential structures.

The applicant proposes to demolish the existing structure and construct two new townhomes with lot frontage reoriented toward 8th Street South. The applicant requests variances to accommodate the proposed construction, which includes: construction of two townhomes on a uniquely configured lot. A lot coverage of 39% for the house and driveway (less than the maximum allowed 50% under current zoning, which allows 35% for house/driveway and 15% for decks, sidewalks, and accessory structures). Setbacks less than standard RS-3 requirements due to the irregular lot shape and historic replatting. The variances are requested to allow the applicant to construct townhomes compatible with the surrounding neighborhood, while avoiding a three-story structure that would meet code but be out of scale with adjacent homes. This property has one approved variance for a rear yard setback of 12.3 feet in lieu of 30 feet.

Staff finds this request consistent with the criteria for approval of a variance, and specifically finds this will not create a nuisance, as the applicant will not encroach on the required yard setbacks to such an

AGENDA ITEM:	E.
MEETING DATE:	March 17, 2026



extent that they would negatively affect the neighboring property. Continued investment in the existing single-family home will ensure the preservation of the residential character of the existing neighborhood. This is a critical consideration, as continued investment and maintenance of the existing home will ensure continued compatibility among neighboring properties, which is essential for preserving the character of the community.

BZA#42-99 — Approved for a rear yard setback of 12.3 feet in lieu of 30 feet to allow for an addition to an existing single family dwelling.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

The subject property is an existing lot of record platted prior to the current Land Development Code (LDC) in 1922. The house was built in 1958, which is also prior to our current LDC. Relief from the LDC will allow the functionality of the home, helping the client utilize the home and parcel to its full potential. The variance requested is the minimum necessary to allow the applicant to utilize the property. The subject property’s historic replatting and unique configuration create conditions not shared by most other parcels in the neighborhood. If the lots had remained as originally platted (50’ x 125’), the applicant could construct two townhomes without requiring variances. Strict enforcement of the current RS-3 zoning standards would force the construction of a three-story structure with a 5-foot setback, which would be visually incompatible with the neighborhood and also create a practical and aesthetic hardship for both the property owner and neighboring parcels. The proposed design aligns the lot frontage with 8th Street South, improving neighborhood orientation and limits lot coverage to 39%, below the total maximum allowable, reducing impervious surface impacts. This will provide off-street parking consistent with Jacksonville Beach requirements, it preserves the neighborhood scale, avoids overbuilding, and mitigates potential drainage or flooding impacts.

The proposed project promotes infill development that is compatible with surrounding parcels, improves neighborhood aesthetics compared to what would be allowed under strict code enforcement, enhances stormwater management, and limits impervious surface coverage below the maximum allowed. It also provides a reasonable residential use consistent with the intent of RS-3 zoning.

Approval would support the continued productive use of the parcel, improve the property, and maintain neighborhood character. Staff finds that the applicant has demonstrated that the unique lot conditions, historic replatting, and neighborhood compatibility considerations justify the requested variances. The proposed design represents the minimum necessary relief, aligns with the intent of RS-3 zoning, and avoids overbuilding or creating a public nuisance.

**MINIMUM DIMENSIONAL STANDARDS:**

**Residential, single-family: RS-3 Zoning Dimensional Standards for Townhomes**

- *Minimum lot area:* Six thousand (6,000) square feet (individual lots shall be a minimum of three thousand (3,000) square feet).
- *Minimum lot width:* Twenty-five (25) feet at the building line for each unit.
- *Minimum yards.*
  - *Front yard:* Twenty (20) feet.
  - *Side yard:* Zero (0) for internal. Exterior five (5) feet.

- *Rear yard:* Twenty (20) feet.
- *Minimum floor area:* A townhouse dwelling unit shall contain a minimum of eight hundred (800) square feet of conditioned living area. A minimum of one car-garage as required, shall not be included as part of the unit's minimum square footage. Additionally, two (2) spaces shall be provided in the driveway.
- *Maximum lot coverage for primary structure and required driveway:* Thirty-five (35) percent.
- *Maximum height:* Thirty-five (35) feet.
- *Impervious surface:* Fifty (50) percent.
- *Accessory uses and structures pursuant to [section 34-716](#):* All accessory uses shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

**REVIEW OF CRITERIA:**

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there **are** conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure.

The lot's historic replatting and irregular shape create unique constraints that limit the ability to develop a conforming structure without variances.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances **are not** a result of actions of the applicant.

The unique lot configuration predates the current applicant and was created by historical replatting.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges **will not** be afforded to the applicant by granting a variance.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code **would** deprive the applicant of rights enjoyed by other parcels of land.

Other properties in the area with similar constraints have received variances to allow development. Approval would allow this parcel to enjoy the same rights as neighboring properties.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested **are** necessary to make possible a reasonable use of the parcel of land, building, or structure.

The requested variances represent the minimum relief necessary to allow construction of two



townhomes compatible with the surrounding neighborhood, while meeting off-street parking and drainage requirements.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) **will not** result in the creation of a public nuisance.

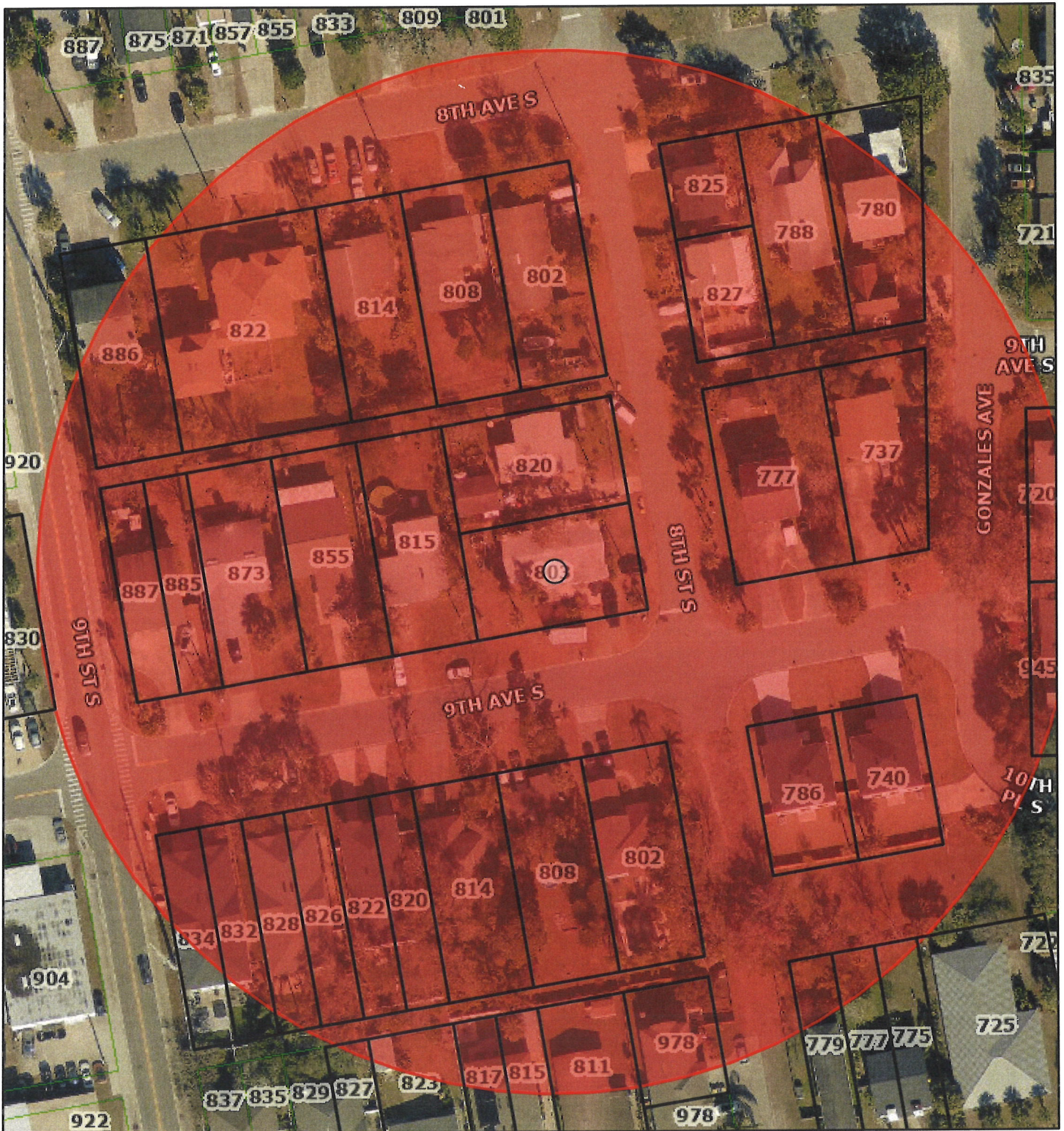
The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100016**.

**ATTACHMENTS:**

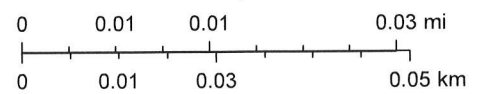
1. 26-100016pics
2. BOA#26-100016 Application



March 5, 2026

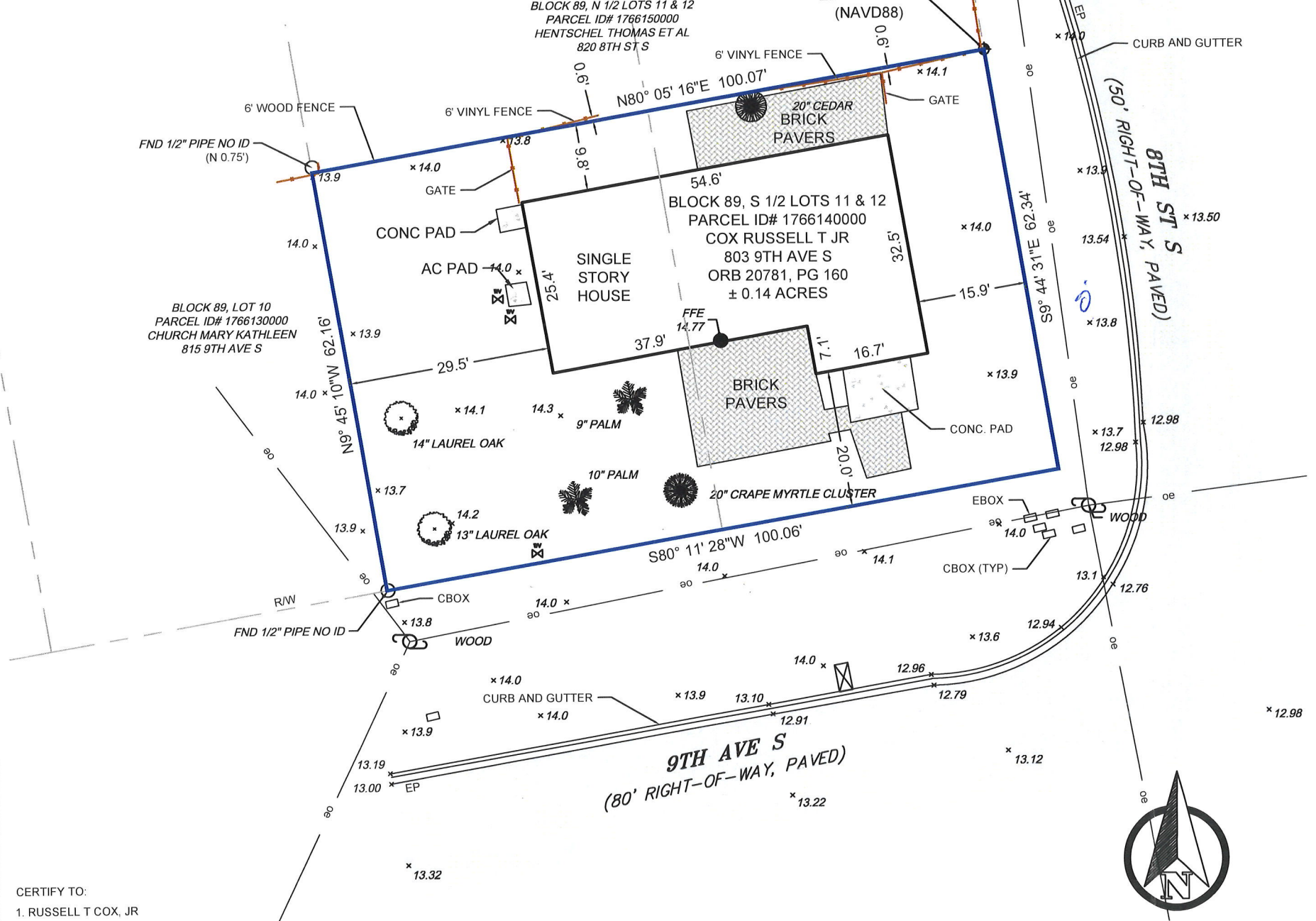
 Parcels

1:1,128



**A MAP SHOWING A BOUNDARY, TOPOGRAPHY,  
AND TREE SURVEY OF**

**THE SOUTH 1/2 OF LOTS 11 AND 12, BLOCK 89, OCEANSIDE PARK,  
ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 13  
DUVAL COUNTY, FLORIDA.**



**DESCRIPTION:**  
THE SOUTH 1/2 OF LOTS 11 AND 12, BLOCK 89, OCEANSIDE PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 13, OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

- BOUNDARY SURVEY GENERAL NOTES**
1. THIS IS A BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY, AS DEFINED IN CHAPTER 5J-17.050(10)(A)-(K) OF THE FLORIDA ADMINISTRATIVE CODE.
  2. THE FIELD SURVEY WAS PERFORMED ON 05/27/2025.
  3. THE SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAP OR MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  4. THE BEARINGS AND COORDINATE SYSTEM UTILIZED HEREON IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, AS DERIVED BY REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM ("RTK GPS") SURVEY METHODS USING THE PUBLIC FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK ("FPRN"). THE CORRECTED POSITIONS COMPUTED BY THESE NETWORKS WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS ON PRIMARY CONTROL ALONG WITH CONSISTENT HORIZONTAL CHECKS TO SECONDARY CONTROL. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
  5. THE ACCURACY STANDARD USED FOR THE HORIZONTAL CONTROL FOR THIS SURVEY, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (5J-17.051 FAC). THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET.
  6. THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP(FIRM), COMMUNITY-PANEL NUMBER 12031C0419J REVISED 11/02/2018. THE SAID FLOOD INSURANCE RATE MAP IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  7. ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM DUVAL COUNTY PROPERTY APPRAISERS OFFICE.
  8. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE SEARCH, AS A RESULT THERE MAY BE EASEMENTS OR OTHER RIGHTS, THAT A TITLE SEARCH MAY PROVIDE THAT EXIST ON THIS PROPERTY. THIS PROPERTY WAS NOT ABSTRACTED FOR DEEDS, DEED RESTRICTIONS, EASEMENTS OR RIGHTS OF WAY OF RECORD OR NOT OF RECORD.
  9. THIS SURVEY DOES NOT INFER OR DETERMINE OWNERSHIP.
  10. IN PREPARATION OF THIS SURVEY REFERENCE WAS MADE TO PREVIOUS BOUNDARY SURVEY BY SCALICE LAND SURVEYING, DATED 08/04/2023.

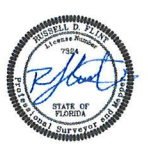
Abbreviation Legend		Symbol Legend	
Symbol	Denotes	Symbol	Denotes
FND	FOUND	○	BENCHMARK
PID #	PROPERTY IDENTIFICATION NUMBER	○	FOUND IRON ROD / PIPE AS NOTED
ELEV	ELEVATION	●	SET 5/8" IRON ROD "LS 7324"
NO ID	NO IDENTIFICATION	■	4" X 4" CONCRETE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPING	⊕	WOOD UTILITY POLE
LB	LICENSED BUSINESS	⊕	GUY ANCHOR
EP	EDGE OF PAVEMENT	⊕	MAILBOX
R/W	RIGHT OF WAY	-oe-	OVERHEAD UTILITY LINE
ORB	OFFICIAL RECORDS	⊕	FIRE HYDRANT
PG	PAGE	⊕	LIGHT POLE
NAVD 88	NORTH AMERICAN VERTICAL DATUM 1988	⊕	COMMUNICATION UTILITY
N,S,E,W	STATE PLANE COORDINATE SYSTEM	—□—	WOOD OR VINYL FENCE LINE
IRCS	IRON ROD AND CAP SET	—X—	CHAIN OR WIRE FENCE LINE
MKR	MARKER		
WV	WATER VALVE		
GV	GAS VALVE		
(D)	DENOTES (DEED MEASUREMENT)		
(R)	DENOTES (COUNTY MAP/ RECORD MEAS.)		
(M)	DENOTES MEASURED BY SURVEY		
(P)	DENOTES MEASURED BY PLAT		
CBOX	COMMUNICATIONS BOX		
EBOX	ELECTRICAL BOX		

CERTIFY TO:  
1. RUSSELL T COX, JR

NOTICE OF LIABILITY: THIS SURVEY IS CERTIFIED TO THOSE INDIVIDUALS SHOWN IN TITLE AND CERTIFICATION BLOCKS BELOW AT TIME OF SURVEY. ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED AND RESTRICTED. SURVEYOR IS RESPONSIBLE ONLY TO THOSE CERTIFIED AND HEREBY DISCLAIMS ANY OTHER LIABILITY AND HEREBY RESTRICTS THE RIGHTS OF ANY OTHER INDIVIDUAL OR FIRM TO USE THIS SURVEY IN ANY MANNER WHATSOEVER, WITHOUT THE WRITTEN CONSENT OF THE SIGNING SURVEYOR.



SHEET: 1  
OF 1



Digitally signed  
by Russell D Flint  
Date: 2025.06.23  
09:59:09 -04'00'

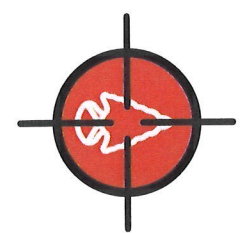
RUSSELL D. FLINT, Florida PSM LB # 8528  
Not Valid Without the Digital Signature of A Florida Licensed  
Surveyor & Mapper

**HATCH LEGEND**

	ASPHALT PAVEMENT
	CONCRETE
	DIRT HATCH

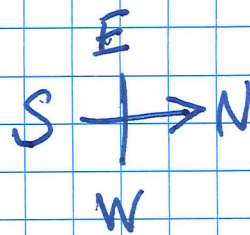
REV.	DATE	WHO	DESCRIPTION

PROJECT NO:	25-0575
MAP DATE:	06/16/2025
SURVEY DATE:	05/27/2025
CHECKED BY:	RDF
DRAWN BY:	TJF
FIELD WORK:	CDF
FBK: N/A	PG: N/A

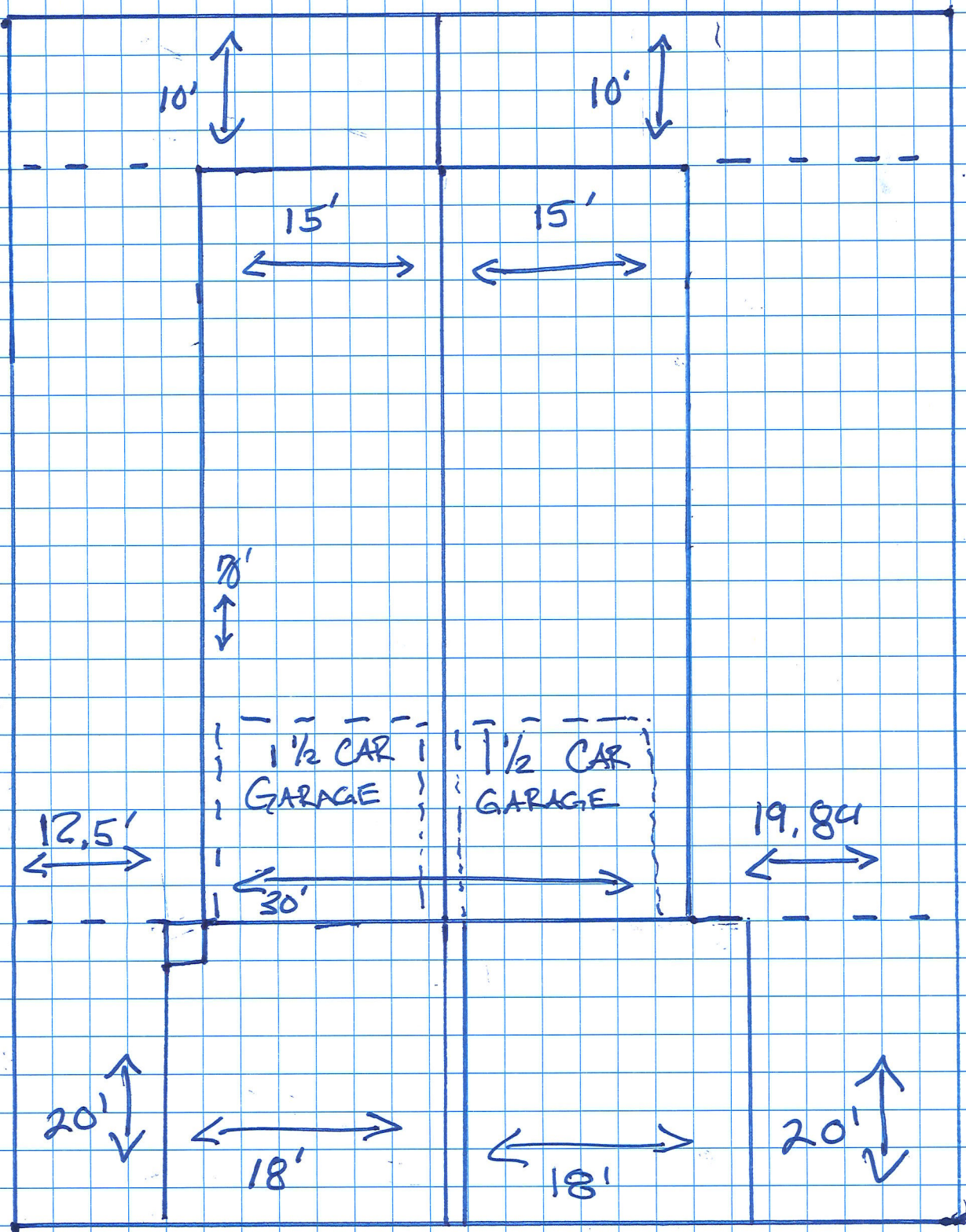


**Flint Surveying  
& Mapping, Inc.**  
111 NATURE WALK PRKWAY #102  
ST JOHNS, FL 32092  
PHONE (904) 392-5948  
  
LICENSED PROFESSIONAL  
FLORIDA LS #7324 LB #6628

003 9th Ave South



$\frac{1}{4}'' = 2.5'$



9th  
Ave S.

8th Street S.

35% Lot SQFT = 2,183.209

Building Foot Print = 2,100 SQFT.

DRIVE WAY = 360 SQFT

Set BACKS

FRONT - 20'  
 CORNER 20% - 12.5'  
 SIDE - 19.84'  
 REAR - 10' IN LUC OF 20'

A



822

814

808

788

827

820

855

815

873

St 9th

9th Ave South



B





D





# VARIANCE APPLICATION

BOA NO. 26-100016  
HEARING DATE 3/17/26

This form is intended to be submitted along with all required documents for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code. Planning and Development Department staff will evaluate an application for a variance for sufficiency within ten (10) days of receipt. If the application is found to be complete and sufficient, the Jacksonville Beach Board of Adjustment, at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, **to scale** (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of \$500.00 (due at the time of application submittal).
7. Completed application.

### APPLICANT INFORMATION

Applicant Name: RUSSELL COX Telephone: 904-386-5925  
 Mailing Address: 803 9th Ave South E-Mail: CoxdevelopmentGroup@gmail.com  
JAX BEACH FL 32250  
 Agent Name: \_\_\_\_\_ Telephone: N/A  
 Mailing Address: N/A E-Mail: \_\_\_\_\_  
 Landowner Name: Russell Cox Telephone: 904-386-5925  
 Mailing Address: 803 9th Ave S. JAX BEACH FL E-Mail: CoxdevelopmentGroup@gmail.com  
32250

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 803 9th Ave S. - 176614-0000  
 Legal description of property (Attach copy of deed): 23081254 - 176614-0000  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).

VARIANCE Request FOR 10' REAR SET BACK  
IN lieu of 20' 39% FOR HOSE + DRIVEWAY  
IN lieu of 35% to accommodate off street PARKING.

THIS BOX FOR OFFICE USE ONLY, GO TO NEXT PAGE

CURRENT ZONING CLASSIFICATION: A5-S FLOOD ZONE: \_\_\_\_\_  
 CODE SECTION (S): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



# VARIANCE APPLICATION AFFIDAVIT

BOA No. \_\_\_\_\_

## AFFIDAVIT

I, RUSSELL T. COX, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

Russell T Cox

APPLICANT SIGNATURE

RUSSELL T. COX

PRINT APPLICANT NAME

02/17/26  
FL 3/17/26

DATE

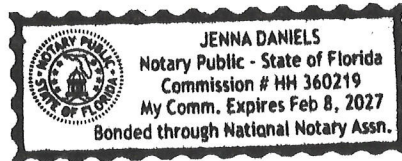
*JD*

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this 17<sup>th</sup> day of FEBRUARY, 2026, by RUSSELL COX, who is personally known to me or produced FL DL as identification.

Jenna Daniels  
NOTARY PUBLIC SIGNATURE

JENNA DANIELS  
PRINT NOTARY NAME



(Affix Notary Seal Above)

Prepared by and Return to:  
Jacksonville Blue Ocean Title  
4309 Pablo Oaks Court 2nd Floor  
Jacksonville, FL, 32224  
File No.: JAX-23-428

Parcel: 176614-0000

23081254

### General Warranty Deed

Made this 4th day of August, 2023 by, **Zach C. Blalock and Gail B. Blalock, husband and wife** whose mailing address is 88 Holly Road, Sylvania, GA 30467, hereinafter called the grantor, to **Russell T. Cox, Jr., an unmarried man**, whose mailing address is 834 8th Street North, Jacksonville Beach, FL 32250, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

**The South 1/2 of Lots 11 and 12, Block 89, Oceanside Park, according to the plat thereof recorded in Plat Book 8, Page 13, of the Current Public Records of Duval County, Florida.**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to taxes for the current year.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed, and delivered in the presence of:

[Signature]  
Witness Signature

Latecha Nelson  
Printed Name

4309 Pablo Oaks Court  
Address

Jacksonville, FL 32224  
City, State, Zip

Zack C. Blalock  
Zack C. Blalock  
Gail B. Blalock  
Gail B. Blalock

[Signature]  
Witness Signature

Shenri Baughman  
Printed Name

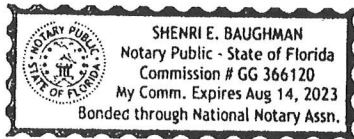
4309 Pablo Oaks Court  
Address

Jacksonville, FL 32224  
City, State, Zip

STATE OF FLORIDA  
COUNTY OF DUVAL

The foregoing instrument acknowledged before me by means of  physical presence or  online notarization, this 31st day of July, 2023, by **Zack C. Blalock and Gail B. Blalock**, who is/are  personally known to me or who has/have  produced DL as identification.

[Signature]  
Notary Public Signature  
Shenri Baughman  
Notary Public Printed Name



**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-281 Purpose.** Variances are deviations from the terms of the LDC, which would not be contrary to the public interest when owing to special circumstances or conditions; the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship.

**Section 34-286. Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following criteria have been met. To assist the Board in making this finding, please complete the blanks on the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
Special conditions and circumstances exist which are peculiar to the parcel of land building or structure, which are not applicable to other parcels of land, structures or buildings in the same zoning district.	YES	ANSWERS on Separate PAGE
Special circumstances and conditions do not result from the actions of the applicant.	NO	
Granting the variance will not confer upon the applicant any special privileges denied by the comprehensive plan and this code to other parcels of land, buildings, or structures, in the same zoning district.	YES	
Literal interpretation and enforcement of the terms and provisions of this code would deprive the applicant of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary hardship.	YES	
Grant of variance is the minimum variance that will make possible the reasonable use of the parcel of land, building or structure.	YES	
Grant of variance will be generally consistent with the purposes, goals, objectives, and policies of the comprehensive plan and this Code and will not adversely affect adjacent land.	YES	

- (A) Yes, there are conditions and circumstances that exist which are unique to the parcel of land. This land was originally plotted for 50' x 125' standard lot dimensions for Jax Beach. When re plotted to the southern half of lots 11 and 12 it made this property unique and different from the rest. If they were plotted how originally plotted, we would be able to build this with no variance.
- (B) NO
- (C) Yes, that is correct this would not give me special privileges, all lots that have hardships are able to request a variance for their hardship. & other property in this zone have had these variances granted to them.
- (D) Yes, Strict interpretations and enforcement of the code would deprive me of the right commonly enjoyed by other parcels of land and would create unnecessary and undue hardship. Not receiving this variance would result in a hardship and a nuisance to the neighbors I would be forced to build a 3 stories dwelling that would not fit this neighborhood but would be allowed by code and zoning with out variance
- (E) Yes, if granted I will be adding value to the area and improving the lot to conform with the other parcels around me in the best manner possible.
- (F) Yes that is correct if the variance is granted it will not result in the creation of public nuisance I designed this to be the most favorable and conforming to the area and direct neighbors as possible without overbuilding the property .I'm allowed to build 3 story with 5 ' set back witch is an eye sore and not favorable to the neighborhood .the proposed design and build is accommodating all Jax beach off street parking . The new zoning allows 50% lot coverage 35 % house and driveway with 15% for sidewalks decks sheds etc. .  
We would need 39% lot coverage for the house/ driveway and would us less than the other available 11% for sidewalk and deck. So we would be less total non-permeable percentage of property than allowed to help with the areas drainage and flooding issues



# City of Jacksonville Beach

ELEVEN NORTH THIRD STREET • JACKSONVILLE BEACH, FLORIDA 32250

June 17, 1999

Mr. Robert H. McMinn III  
803 9th Avenue South  
Jacksonville Beach, FL 32250

RE: Case No. #42-99  
803 9th Avenue South

Dear Mr. McMinn:

The Board of Adjustment for the City of Jacksonville Beach met and held a public hearing at 7:30 p.m. on June 15, 1999 to consider your variance application.

As indicated in the application, the request was for a variance of Section 34-338(e)(1)c.3 for a rear yard of 12.3', in lieu of 30' required, to allow for an addition to an existing single family dwelling. This request was granted as written. Please remove the public hearing notice posted on your property.

You are required to apply for a building permit for this project. A copy of the building permit application and a checklist for the required submittals is attached. Please complete and submit the application along with the required information to our office before you begin work on this project.

If you have any questions regarding this variance, please feel free to call me at (904)247-6235.

Sincerely,

Jonathan C. Hays, CBO  
Building Official

JH:alg

Attachment(s)

BOA#26-100016 - 803 9<sup>th</sup> Ave South - Variance Info

- A. Current property (note that this property is unique and does not match any of the other neighboring properties).
- B. Property original design before re-plot creating hardship.
- C. Proposed Building (front facing 8<sup>th</sup> Street South) with variance.
- D. This is a bad example of a townhouse that could be built with no variance. Notice that option C for a two-story dwelling fits the neighborhood. A three-story unit would be an eyesore and public nuisance.

**PUBLIC NOTICE**

The Board of Adjustment for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m. in the City Council Chambers, located at 11 North 3rd Street, Jacksonville Beach, Florida** to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit 4**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North 1/2 of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South 1/2 of Lots 11 and 12, Block 89, Ocean Side Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West 1/2 of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach

**NOTICE**

If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-

tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.

In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.

Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbehl.net](mailto:planning@jaxbehl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.

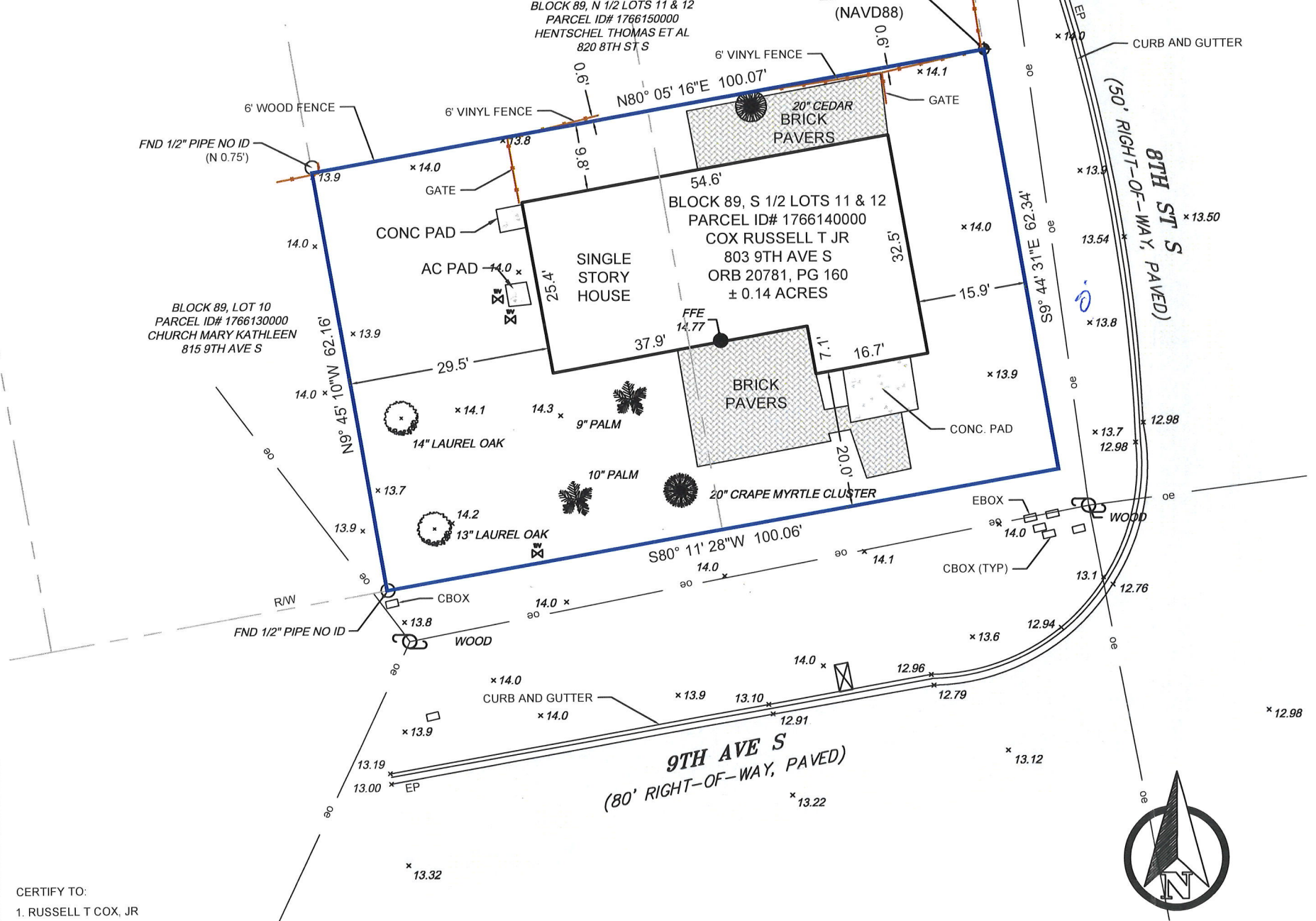
In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Mar. 5 00 (26-01326D)



**A MAP SHOWING A BOUNDARY, TOPOGRAPHY,  
AND TREE SURVEY OF**

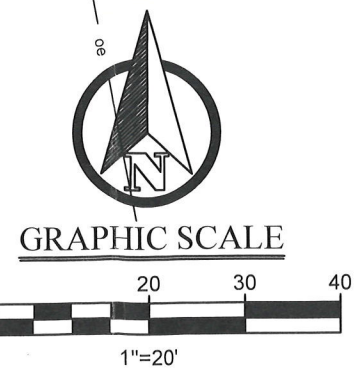
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1. THIS IS A BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY, AS DEFINED IN CHAPTER 5J-17.050(10)(A)-(K) OF THE FLORIDA ADMINISTRATIVE CODE.
  2. THE FIELD SURVEY WAS PERFORMED ON 05/27/2025.
  3. THE SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAP OR MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  4. THE BEARINGS AND COORDINATE SYSTEM UTILIZED HEREON IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, AS DERIVED BY REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM ("RTK GPS") SURVEY METHODS USING THE PUBLIC FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK ("FPRN"). THE CORRECTED POSITIONS COMPUTED BY THESE NETWORKS WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS ON PRIMARY CONTROL ALONG WITH CONSISTENT HORIZONTAL CHECKS TO SECONDARY CONTROL. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
  5. THE ACCURACY STANDARD USED FOR THE HORIZONTAL CONTROL FOR THIS SURVEY, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (5J-17.051 FAC). THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET.
  6. THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP(FIRM), COMMUNITY-PANEL NUMBER 12031C0419J REVISED 11/02/2018. THE SAID FLOOD INSURANCE RATE MAP IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  7. ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM DUVAL COUNTY PROPERTY APPRAISERS OFFICE.
  8. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE SEARCH, AS A RESULT THERE MAY BE EASEMENTS OR OTHER RIGHTS, THAT A TITLE SEARCH MAY PROVIDE THAT EXIST ON THIS PROPERTY. THIS PROPERTY WAS NOT ABSTRACTED FOR DEEDS, DEED RESTRICTIONS, EASEMENTS OR RIGHTS OF WAY OF RECORD OR NOT OF RECORD.
  9. THIS SURVEY DOES NOT INFER OR DETERMINE OWNERSHIP.
  10. IN PREPARATION OF THIS SURVEY REFERENCE WAS MADE TO PREVIOUS BOUNDARY SURVEY BY SCALICE LAND SURVEYING, DATED 08/04/2023.

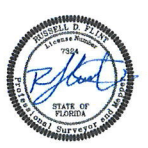
Abbreviation Legend		Symbol Legend	
Symbol	Denotes	Symbol	Denotes
FND	FOUND	○	BENCHMARK
PID #	PROPERTY IDENTIFICATION NUMBER	○	FOUND IRON ROD / PIPE AS NOTED
ELEV	ELEVATION	●	SET 5/8" IRON ROD "LS 7324"
NO ID	NO IDENTIFICATION	■	4" X 4" CONCRETE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPING	⊕	WOOD UTILITY POLE
LB	LICENSED BUSINESS	⊕	GUY ANCHOR
EP	EDGE OF PAVEMENT	⊕	MAILBOX
R/W	RIGHT OF WAY	-oe-	OVERHEAD UTILITY LINE
ORB	OFFICIAL RECORDS	⊕	FIRE HYDRANT
PG	PAGE	⊕	LIGHT POLE
NAVD 88	NORTH AMERICAN VERTICAL DATUM 1988	⊕	COMMUNICATION UTILITY
N,S,E,W	STATE PLANE COORDINATE SYSTEM	—□—	WOOD OR VINYL FENCE LINE
IRCS	IRON ROD AND CAP SET	—X—	CHAIN OR WIRE FENCE LINE
MKR	MARKER		
WV	WATER VALVE		
GV	GAS VALVE		
(D)	DENOTES (DEED MEASUREMENT)		
(R)	DENOTES (COUNTY MAP/ RECORD MEAS.)		
(M)	DENOTES MEASURED BY SURVEY		
(P)	DENOTES MEASURED BY PLAT		
CBOX	COMMUNICATIONS BOX		
EBOX	ELECTRICAL BOX		



CERTIFY TO:  
1. RUSSELL T COX, JR

NOTICE OF LIABILITY: THIS SURVEY IS CERTIFIED TO THOSE INDIVIDUALS SHOWN IN TITLE AND CERTIFICATION BLOCKS BELOW AT TIME OF SURVEY. ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED AND RESTRICTED. SURVEYOR IS RESPONSIBLE ONLY TO THOSE CERTIFIED AND HEREBY DISCLAIMS ANY OTHER LIABILITY AND HEREBY RESTRICTS THE RIGHTS OF ANY OTHER INDIVIDUAL OR FIRM TO USE THIS SURVEY IN ANY MANNER WHATSOEVER, WITHOUT THE WRITTEN CONSENT OF THE SIGNING SURVEYOR.

SHEET: 1  
OF 1



Digitally signed  
by Russell D Flint  
Date: 2025.06.23  
09:59:09 -04'00'

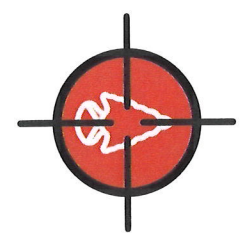
RUSSELL D. FLINT, Florida PSM LB # 8528  
Not Valid Without the Digital Signature of A Florida Licensed  
Surveyor & Mapper

**HATCH LEGEND**

	ASPHALT PAVEMENT
	CONCRETE
	DIRT HATCH

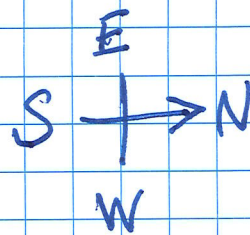
REV.	DATE	WHO	DESCRIPTION

PROJECT NO:	25-0575
MAP DATE:	06/16/2025
SURVEY DATE:	05/27/2025
CHECKED BY:	RDF
DRAWN BY:	TJF
FIELD WORK:	CDF
FBK: N/A	PG: N/A

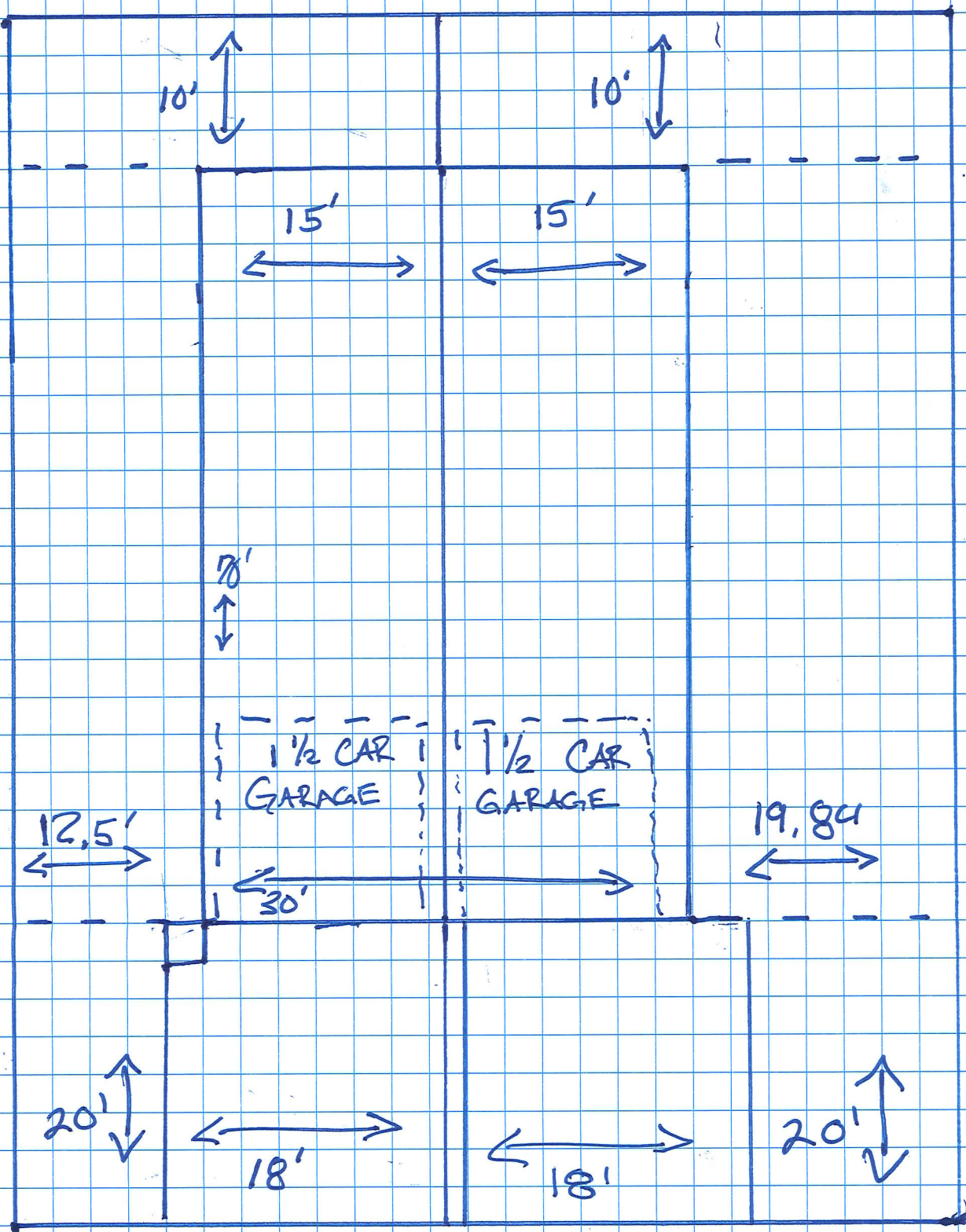


**Flint Surveying  
& Mapping, Inc.**  
111 NATURE WALK PRKWAY #102  
ST JOHNS, FL 32092  
PHONE (904) 392-5948  
  
LICENSED PROFESSIONAL  
FLORIDA LS #7324 LB #6628

003 9th Ave South



$\frac{1}{4}'' = 2.5'$



9th  
Ave S.

8th Street S.

35% Lot SQFT = 2,183.209

Building Foot Print = 2,100 SQFT.

DRIVE WAY = 360 SQFT

Set BACKS

FRONT - 20'  
 CORNER 20% - 12.5'  
 SIDE - 19.84'  
 REAR - 10' IN LUC OF 20'



9th Ave South

9th Street South

873

855

815

820

822

814

808

827

788

11





8th Street South

9th AVE SOUTH

lot 11

lot 12



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BOARD OF ADJUSTMENT AGENDA ITEM	
TO:	Board of Adjustment Members
FROM:	Department of Planning & Development
DATE:	03/05/2026
SUBJECT:	BOA #26-100017 Staff Report

The following information is provided for your consideration for the following agenda item for the upcoming Tuesday, March 17, 2026 Board of Adjustment Meeting.

**BOA #26-100017**

ZONING: RS-1  
 RE NO.: 181533-0000  
 LEGAL: The West ½ of Lot 6, Block 4, All of Lots 7 & 8, Block 4, *Atlantic shores*  
 ADDRESS: 39 S 33rd Avenue

**REQUEST:**

**Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(h), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities.

**EXISTING CONDITIONS:**

The subject property is located in the Low Density Residential future land use category, and is in the Residential, single-family: RS-1 zoning district. The subject site consists of a single-family lot of record, circa 1983. The property measures 150 feet in width by 77 feet in depth, with an overall lot area of 11,594 square feet. The property is currently occupied by a single-family home, built in 1994. The parcel itself meets the dimensional requirements of the RS-1 zoning district. However, the orientation of the dwelling on the lot is atypical, as the home is oriented toward a corner side yard rather than the more typical frontage along 1st Street South. This configuration creates limitations in the usable rear yard area and restricts where accessory structures may be located on the property. The requested variances are intended to allow placement of the pergola in a location that aligns with the existing layout of the residence and to address existing nonconforming conditions related to the placement of accessory improvements on the property.

Staff finds this request consistent with the criteria for approval of a variance, and specifically finds this will not create a nuisance, as the applicant will not encroach on the required yard setbacks to such an extent that they would negatively affect the neighboring property. The proposed pergola location for the single-family home is the most compatible location on the property, given the location of the dwelling. The pergola addition will be consistent with the neighboring homes, thus bringing the home into parity with neighboring homes. Continued investment in the existing single-family home will ensure the preservation of the residential character of the existing neighborhood. This is a critical consideration, as continued investment and maintenance of the existing home will ensure continued compatibility among neighboring properties, which is essential for preserving the character of the community. The new addition will enhance, rather than detract from, the neighborhood's aesthetic appeal.

AGENDA ITEM:	F.
MEETING DATE:	March 17, 2026



There are no previous BOA cases for the subject property.

There are no recorded code enforcement actions on file.

**STAFF ANALYSIS:**

The subject property is an existing lot of record platted prior to the current Land Development Code (1983). The house was built in 1994, which is also prior to our current Land Development Code. The addition of a pergola will be aesthetically pleasing and enhance the neighborhood and help the client utilize the home and parcel to its full potential. The variance requested is the minimum necessary to allow the applicant to utilize the property to complete the proposed addition. The fact that the parcel was platted in 1983, and considering the dwelling was constructed under the limitations of a previous LDC, as well as the home being located at an irregular angle to the property lines, the applicant would be limited in their ability to add any additions, mostly due to the design, and how the builder chose to maximize the home's dimensions.

Although the parcel is conforming in terms of overall lot size and dimensions, the placement and orientation of the dwelling create unusual site constraints. The home was constructed at an irregular angle relative to the lot orientation, resulting in a reduced functional rear yard area. If the residence were oriented toward 1st Street South, the applicant would be able to place accessory structures on the property in a manner that complies with the standard rear yard setback requirements. Due to the current orientation of the dwelling, however, the rear yard area is effectively reduced, limiting reasonable placement options for accessory structures. Staff notes that the lot was platted prior to the adoption of the current Land Development Code, and the nonconforming layout of the dwelling was established prior to the current applicant's ownership of the property.

The proposed improvement is consistent with the RS-1 zoning designation and maintains the property's existing single-family residential use. The pergola accessory structure is a common residential improvement and does not introduce any new or incompatible uses to the neighborhood. Staff finds that the request is associated with site-specific conditions, was not self-created, and represents the minimum relief necessary to allow reasonable use of the property.

**MINIMUM DIMENSIONAL STANDARDS:**

**Residential, Single-family: RS-1 Zoning Dimensional Standards**

- Minimum lot area: 9,000 square feet.
- Minimum lot width: 90 feet at the building line and a minimum of 35 feet at the street.
- Minimum yards:
  - Front yard: 25 feet.
  - Side yard: 10 feet on each side except when the lot is a corner lot. For a corner lot, the side yard on the corner shall be 20 percent of the lot width or 10 feet, whichever is greater, except the side yard is never required to exceed 20 feet.
  - Rear yard: 30 feet for primary structure and 20 feet for unenclosed covered patios and enclosed screen rooms.
- Minimum floor area: A single-family dwelling unit shall contain a minimum of 1,400 square feet of conditioned living area and a 1-car garage. The garage shall not be included as part of the single-family dwelling unit's minimum square footage.
- Maximum lot coverage for primary structure and required driveway: 35 percent.



- Maximum Impervious Surface: 50 percent.
- Maximum height: 35 feet.
- Accessory structures: All accessory structures shall only be located in a side or rear yard (not forward of the dwelling along any street frontage) and set back a minimum of five (5) feet from any property line or principal or accessory structures.

**REVIEW OF CRITERIA:**

**1. There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.**

Staff finds there **are** conditions that prevent compliance with site design and development standards or are unique to the parcel of land, building or structure.

Special conditions exist on the property due to the irregular orientation of the dwelling relative to the lot configuration. This orientation limits the functional rear yard area and restricts the placement of accessory structures in locations that would otherwise comply with standard setback requirements.

**2. The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.**

Staff finds that circumstances **are not** a result of actions of the applicant.

The unusual placement of the residence and resulting constraints were established at the time the home was constructed and were not created by the current applicant. The applicant inherited these conditions upon purchasing the property.

**3. There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.**

Staff finds that special privileges **will not** be afforded to the applicant by granting a variance.

Approval of the requested variances would not confer a special privilege denied to other property owners. Accessory structures and outdoor improvements are common for single-family residences, and similarly constrained properties may seek comparable relief.

**4. Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.**

Staff finds that interpretation and enforcement of the code **would** deprive the applicant of rights enjoyed by other parcels of land.

Strict enforcement of the current setback requirements would make placement of the pergola addition impractical given the configuration of the existing dwelling and available yard space. Due to the age and construction style of the residence, relocating or redesigning the structure to accommodate a conforming accessory structure would be infeasible.

**5. The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.**

Staff finds that the variance(s) requested **are** necessary to make possible a reasonable use of the parcel of land, building, or structure.

The requested variances represent the minimum relief necessary to allow the applicant to construct



the proposed pergola and utilize the property in a manner typical of single-family residential development.

**6. The variance(s) request, if granted, will not result in the creation of a public nuisance.**

Staff finds that the variance(s) **will not** result in the creation of a public nuisance.

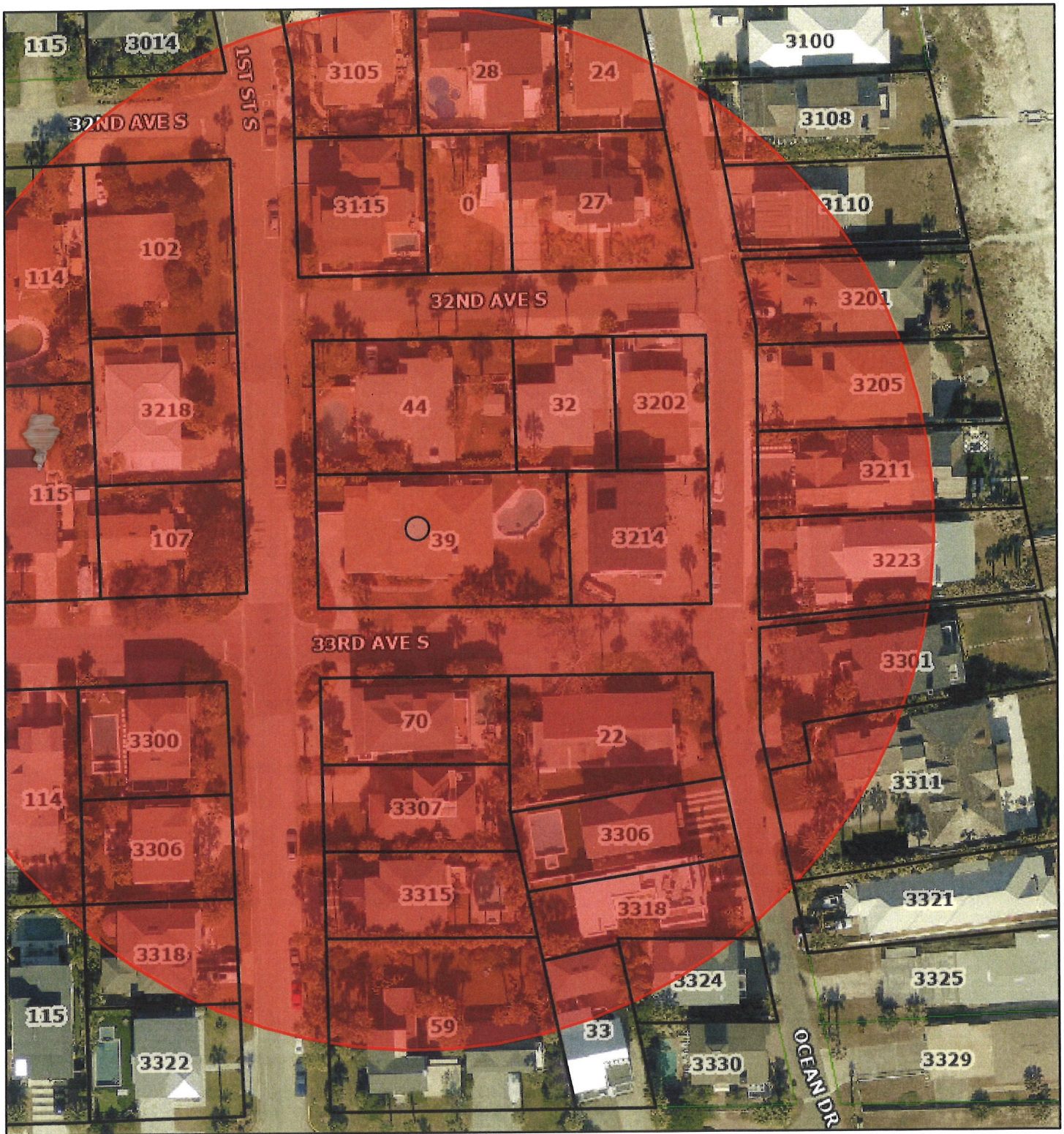
The requested variances will not create a public nuisance. The proposed encroachments are minimal in scale, will remain compatible with the surrounding neighborhood, and do not create issues of safety, visibility, traffic, or noise. The proposed improvements will continue to comply with applicable building and safety codes.

**STAFF RECOMMENDATION:**

**Per Section 34-572** of the Land Development Code, and based on the provided application and analysis stated in this report, the Planning and Development Department recommends **Approval** of **BOA#26-100017**.

**ATTACHMENTS:**

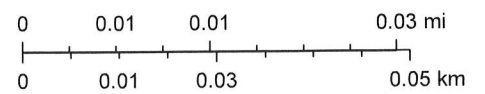
1. 26-100017pics
2. BOA#26-100017 Application



March 5, 2026

 Parcels

1:1,128

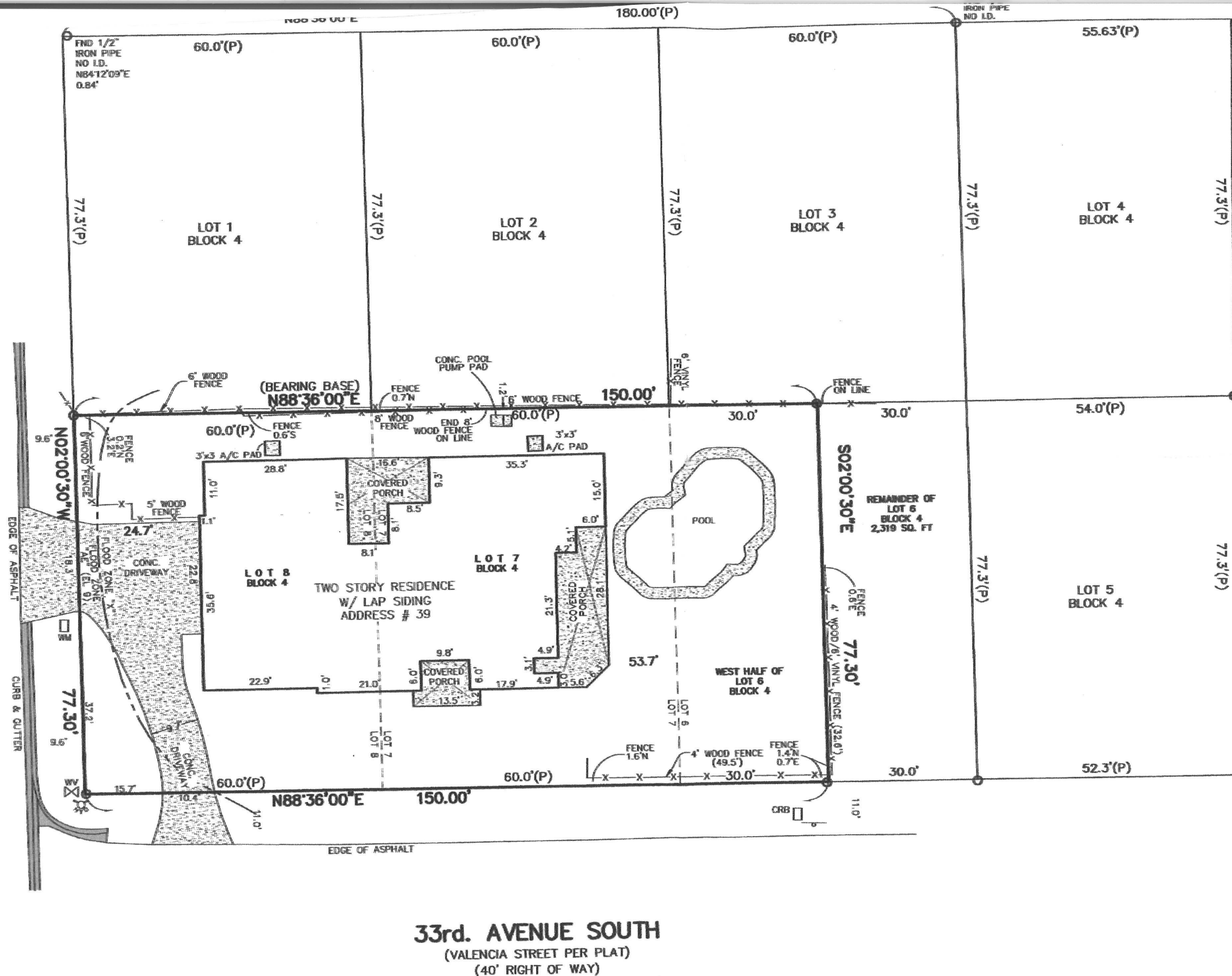


30)

SHOWN HEREON  
AS OF 1988

1ST. STREET SOUTH  
(40' RIGHT OF WAY)

HEREON  
1988



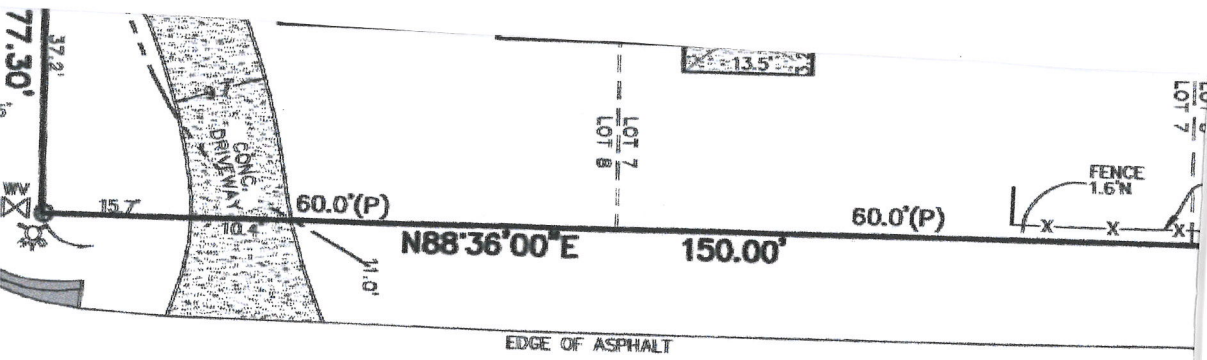
DIMENSIONS SHOWN HEREON ARE PER FIRST FLOOR PLAN

LOT WEST 1/2 OF LOT 6, LOTS 7 & 8

THE LAND SHOWN HEREON IS IN THE SPECIAL  
AS SHOWN ON FLOOD INSURANCE RATE MAP 0419 J

ALL AMERICAN SURVEY

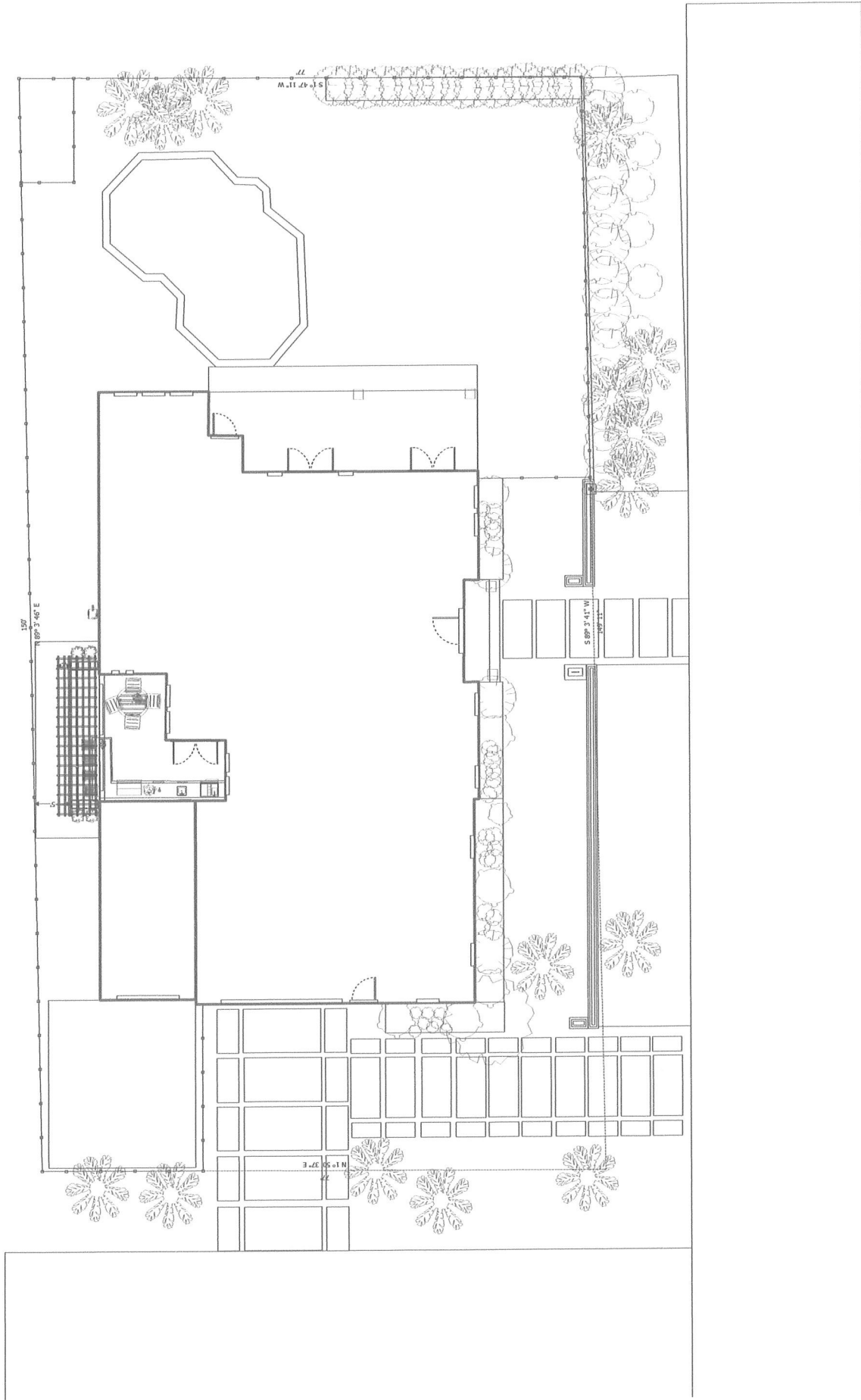
LAND SURVEYORS - 3751 SAN JOSE PLACE SUITE 15 - JACKSONVILLE



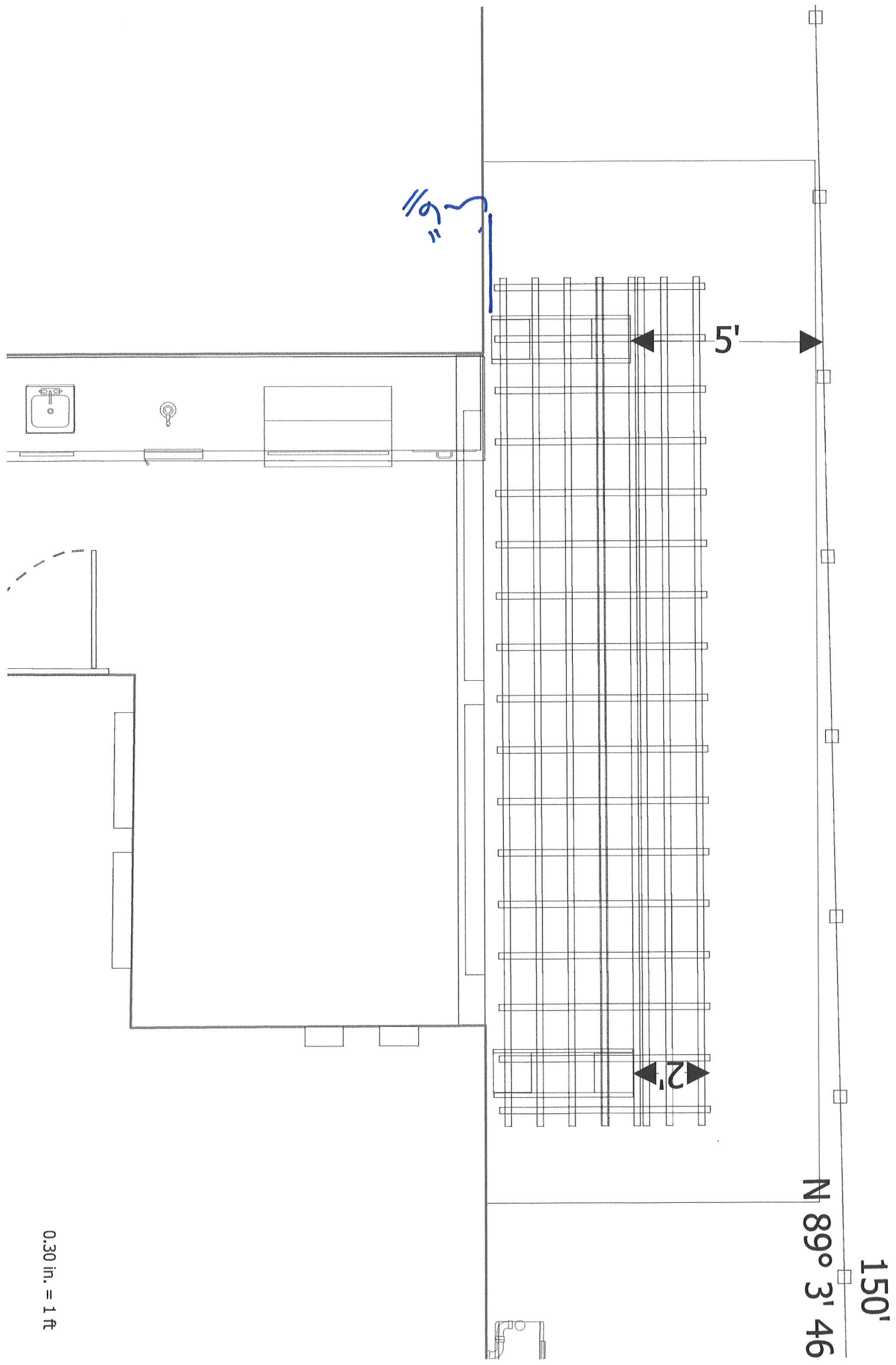
**33rd. AVENUE SOUTH**  
 (VALENCIA STREET PER PLAT)  
 (40' RIGHT OF WAY)

DIMENSIONS SHOWN HEREON ARE PER FIRST FLOOR PLAN

LOT WEST 1/2 OF LOT 6, LOTS 7 & 8	
LOT SIZE	11,594± SQ. FT.
DRIVEWAY TO R/W	897± SQ. FT.
ENTRY WALK	0± SQ. FT.
APPROXIMATE SIDEWALK	0± SQ. FT.
RIGHT-OF-WAY LENGTH	77.30 FT.
TOTAL BUILDING COVERAGE	3,887± SQ. FT. 34%
TOTAL IMPERVIOUS COVERAGE	5,094± SQ. FT. 44%
TOTAL EASEMENT AREA	0± SQ. FT.



Scale: 1/20" = 1 ft.



1/5

5'

2'

N 89° 31' 46"

150'

0.30 in. = 1 ft











# APPLICATION FOR VARIANCE

BOA No. 26-100017

HEARING DATE 3/17/26

This form is intended for submittal, along with the required documents, for all requests for variances from the requirements of the City of Jacksonville Beach Land Development Code, Article 6, Section 6.6 Variances. The Planning and Development Director will evaluate an application for a variance for sufficiency within five (5) days of receipt. If the application is found to be complete, the Jacksonville Beach Board of Adjustment at their earliest meeting following appropriate public notice of the request will schedule it for review, public hearing and a decision.

### REQUIRED DOCUMENTATION

1. Accurate, to-scale boundary survey prepared by a registered land surveyor that shows the location of all existing improvements.
2. Survey, plat or new site plan showing all proposed additions and/or improvements added to the drawing, to scale (on 11" x 17" paper or smaller).
3. Proof of ownership (copy of deed or current property tax notification).
4. Copy of any previous variance and/or conditional use approval letters.
5. If applicant is not owner, notarized written authorization from owner is required.
6. Non-refundable processing fee of **\$500.00** (due at the time of application submittal).
7. Completed application.

RECEIVED

FEB 20 2026

PLANNING DEPARTMENT

### APPLICANT INFORMATION

**Applicant Name:** Jaclyn George  
**Mailing Address:** 39 33rd Ave S.  
JACKSONVILLE BEACH, FL 32250

**Agent Name:** Greg Nelson  
**Mailing Address:** 1721 Atlantic Beach Dr.  
Atlantic Beach, FL 32233

**Landowner Name:** Christopher & Jaclyn George  
**Mailing Address:** 39 33rd Ave S.  
JACKSONVILLE BEACH, FL 32250

**Telephone:** 904-874-3155  
**E-Mail:** jackieageorge@gmail.com

**Telephone:** 904-238-6775  
**E-Mail:** greg@buildtimberline.com

**Telephone:** 904-710-5540  
**E-Mail:** cegeorge33@gmail.com

Please provide the name, address and telephone number for any other land use, environmental, engineering architectural, economic or other professionals assisting in the application on a separate sheet of paper.

### VARIANCE DATA

Street address of property and Real Estate Number: 39 33rd Ave S. RE# 181533-0000  
 Legal description of property (Attach copy of deed): 15-92 10-35-29E, R/P PT DIV B Atlantic Shores W 1/2 Lot 6  
 Description of requested variance (example: front yard setback of 17ft in lieu of 20ft, lot coverage, reduce required off-street parking spaces, etc.) (Attach a separate sheet if necessary).  
Lots 7, 8 Blk 4  
Allow proposed accessory structure, pergola, to be built six inches from main structure instead of standard five foot.

### AFFIDAVIT

I, Jaclyn George, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

[Signature]  
APPLICANT SIGNATURE

Jaclyn George  
PRINT APPLICANT NAME

21 13/26  
DATE

STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this 13<sup>th</sup> day of February, 2026, by Jaclyn George, who is personally known to me or produced License as identification.

01



# VARIANCE APPLICATION AFFIDAVIT

BOA No. \_\_\_\_\_

## AFFIDAVIT

I, Jaclyn George, being first duly sworn, attest that I am applying for a variance pursuant to Article 6, Section 6.6 of the Jacksonville Beach Land Development Code for the property described above; that all answers to questions in this application, the submitted boundary survey and other supplementary documents attached to and made part of this application are true and accurate to the best of my knowledge and belief. Furthermore, I understand that failure to submit accurate information as requested above may be grounds for denial of my request and/or subsequent building permit applications.

[Handwritten Signature]  
APPLICANT SIGNATURE

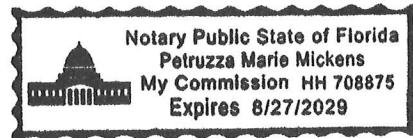
Jaclyn George  
PRINT APPLICANT NAME

2/13/26  
DATE

### STATE OF FLORIDA, COUNTY OF DUVAL:

This instrument was acknowledged before me by means of  physical presence or  online notarization, this 13<sup>th</sup> day of February, 2026, by Jaclyn George who is personally known to me or produced License as identification.

Petruzza M Mickens  
NOTARY PUBLIC SIGNATURE



Petruzza M Mickens  
PRINT NOTARY NAME

(Affix Notary Seal Above)

**VARIANCE APPLICATION STANDARDS AND CONDITIONS**

BOA No. \_\_\_\_\_

**Section 34-566**

**Purpose.** Variances are deviations from the terms of the LDC which would not be contrary to the public interest when owing to special circumstances or conditions, the literal enforcement of the provisions of the LDC would result in undue and unnecessary hardship. Variances shall not be inconsistent with the Comprehensive Plan. It is understood that the granting of a variance shall not create a precedence for future requests.

**Section 34-572.**

**Standards applicable to all variances.** In order to authorize any variance from the terms of this code, the Board of Adjustment must find that the following standards have been met. To assist the Board in making a finding, please complete the form below.

Standard	Applies? Yes/No	Circumstances/ Explanation
(a) There are conditions or circumstances that exist which prevent compliance with site design and development standards, or which are unique to the parcel of land, building or structure.	Yes	The lot is addressed on 33 <sup>rd</sup> Ave S defining that side of the lot as the front of the home and traditionally would be considered the side of the home causing an extremely shallow depth of front and rear yards.
(b) The conditions or circumstances do not result from actions of the application and would not be considered a self-imposed hardship.	Yes	The orientation of the home on a corner lot hinders us from complying with correct code due to frontage setbacks on two property lines.
(c) There would be no special privileges afforded to the applicant by granting a variance that is not available to other parcels of land, building or structures with similar conditions or circumstances.	Yes	No special privileges would be afforded compared to similar homes situated on a corner lot adhering to lot setbacks on two frontages.
(d) Strict interpretation and enforcement of the code would deprive the applicant of rights commonly enjoyed by other parcels of land and would provide an unnecessary and undue hardship.	Yes	Other residents do have pergolas on their patios and this would be a similar situation and the adherence to other setbacks from the property line for the accessory structure would be possible with this variance granted.
(e) The variance(s) requested, if granted, will make possible a reasonable use of the parcel of land, building, or structure.	Yes	The use of the space would be for our family to enjoy meals together outdoors with some additional shade provided by the pergola.
(f) The variance(s) request, if granted, will not result in the creation of a public nuisance.	Yes	This is accurate as the only impact is to the homeowner as the accessory structure will be built 6 inches from the main structure vs 5ft.

Prepared by:  
Karen Stellhorn  
Watson Title Services of North FL, Inc.  
3951 Baymeadows Road  
Jacksonville, Florida 32217

File Number: 2000063

20006594

## General Warranty Deed

Made this October 5, 2020 A.D. By **THOMAS N. RICHARDSON and LINDA J. RICHARDSON, husband and wife**, whose address is: 3548 PINTAIL DRIVE SOUTH, Jacksonville Beach, Florida 32250, hereinafter called the grantor, to **CHRISTOPHER ELIAS GEORGE and JACLYN GEORGE, HUSBAND AND WIFE**, whose post office address is: 39 33RD AVE. S, JACKSONVILLE BEACH, FL 32250, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of \$1,350,000.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Duval County, Florida, viz:

The West 1/2 of Lot 6 and all of Lots 7 and 8, Block 4,, Atlantic Shores Ocean Front Section - Division B, a subdivision according to the plat thereof recorded in Plat Book 15, Page 92, of the Public Records of Duval County, Florida.

Parcel ID Number: 181533-0000

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2019.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness Printed Name Amy E. Hamby

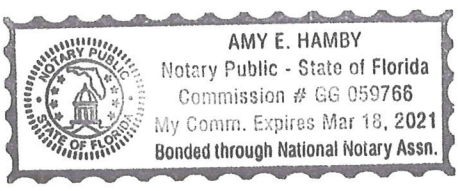
Thomas N. Richardson (Seal)  
**THOMAS N. RICHARDSON**  
Address: 3548 PINTAIL DRIVE SOUTH, Jacksonville Beach,  
Florida 32250

[Signature]  
Witness Printed Name JAMES D. ZELLED LLC

Linda J. Richardson (Seal)  
**LINDA J. RICHARDSON**  
Address: 3548 PINTAIL DRIVE SOUTH, Jacksonville Beach,  
Florida 32250

State of FL  
County of St. Johns

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 5th day of October, 2020, by THOMAS N. RICHARDSON and LINDA J. RICHARDSON, husband and wife, who is/are personally known to me or who has produced FL DL as identification.



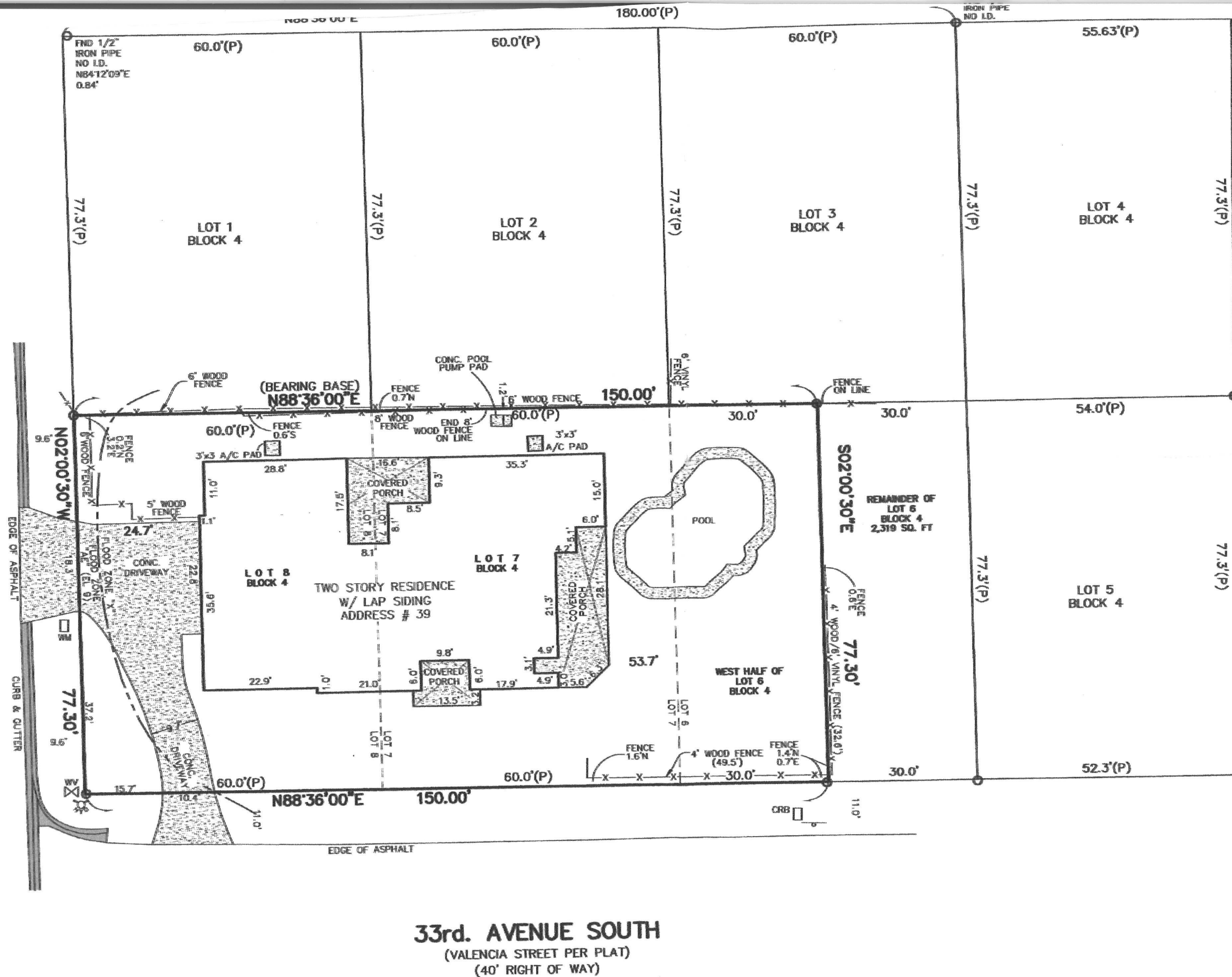
[Signature]  
Notary Public  
Print Name: Amy E. Hamby  
My Commission Expires: 3/18/21

30)

SHOWN HEREON  
AS OF 1988

1ST. STREET SOUTH  
(40' RIGHT OF WAY)

HEREON  
1988



DIMENSIONS SHOWN HEREON ARE PER FIRST FLOOR PLAN

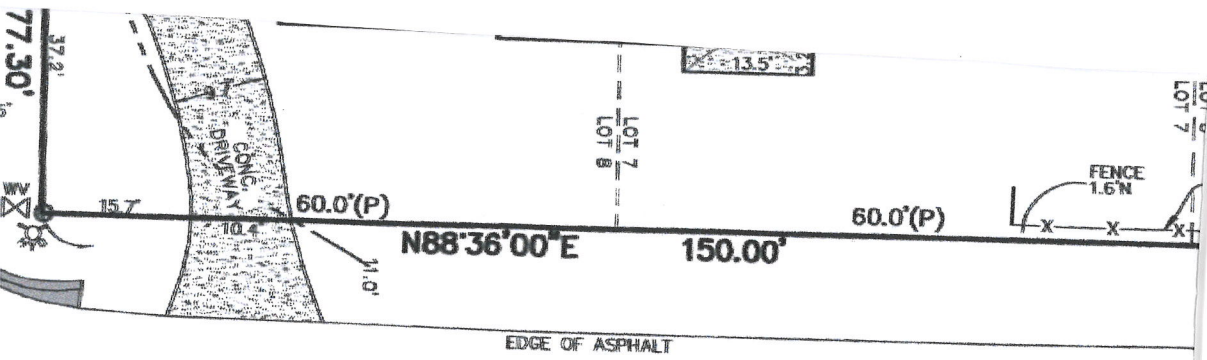
LOT WEST 1/2 OF LOT 6, LOTS 7 & 8

33rd. AVENUE SOUTH  
(VALENCIA STREET PER PLAT)  
(40' RIGHT OF WAY)

THE LAND SHOWN HEREON IS IN THE SPECIAL  
AS SHOWN ON FLOOD INSURANCE RATE MAP 0419 J

ALL AMERICAN SURVEY

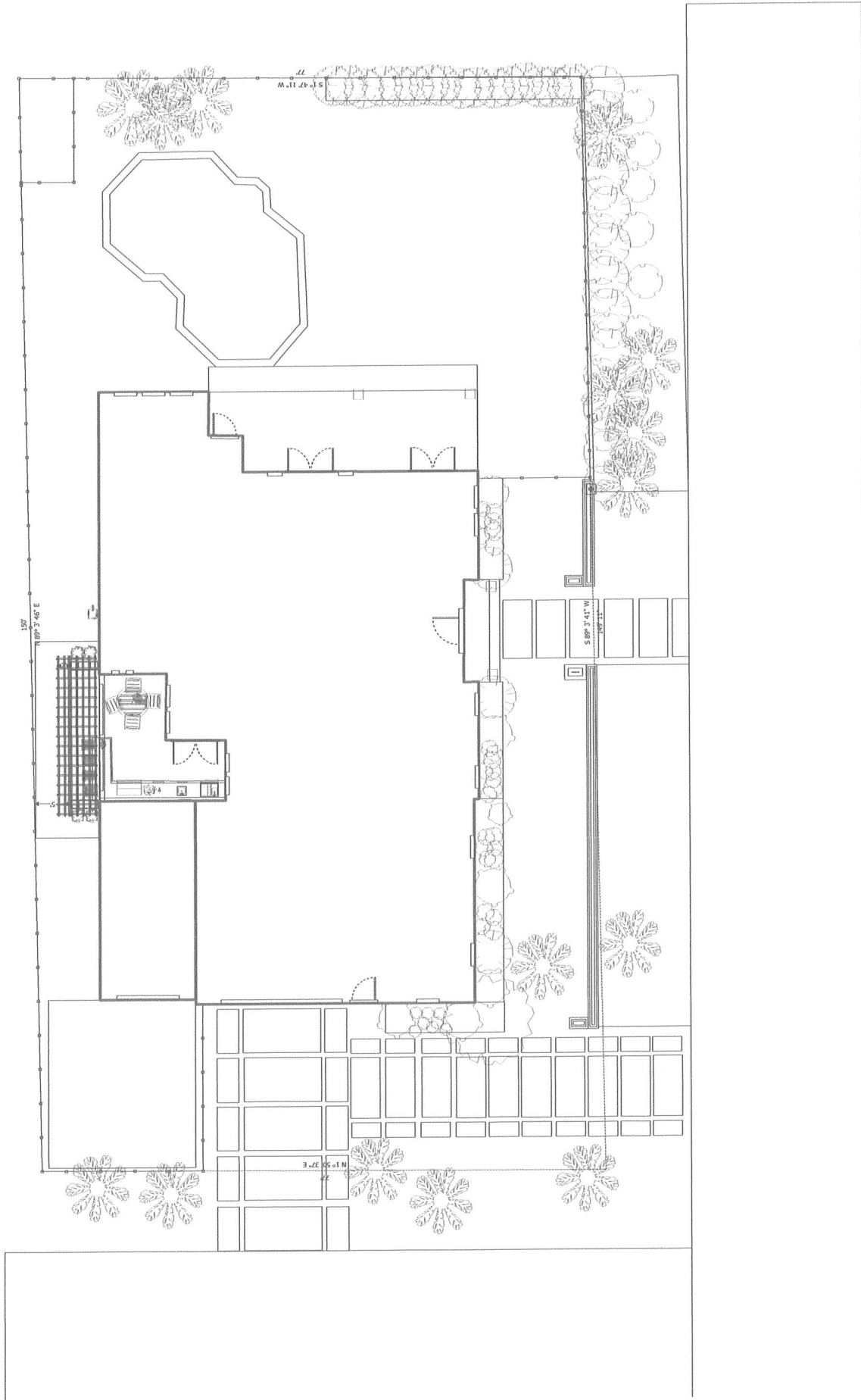
LAND SURVEYORS - 3751 SAN JOSE PLACE SUITE 15 - JACKSONVILLE



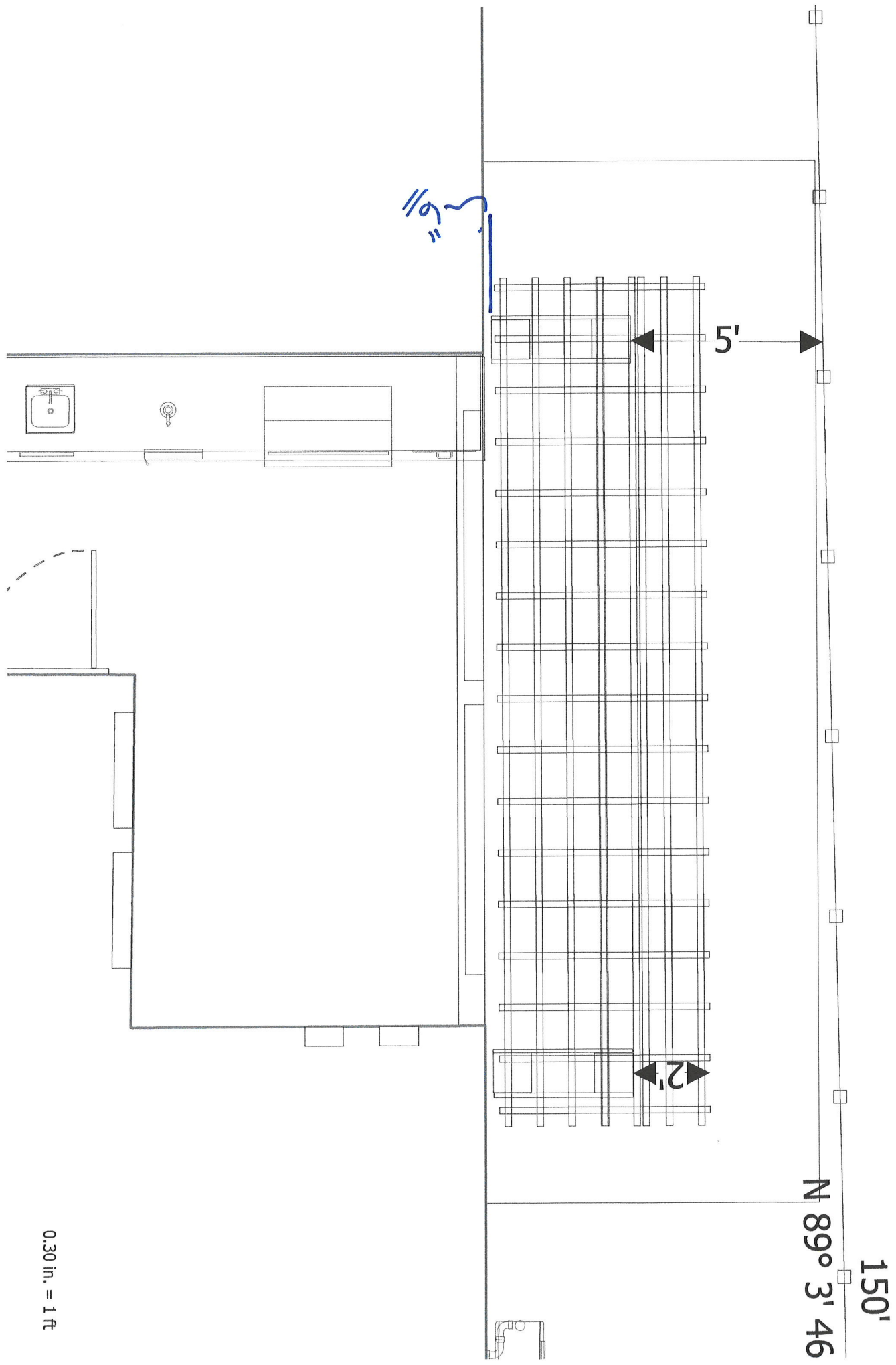
**33rd. AVENUE SOUTH**  
 (VALENCIA STREET PER PLAT)  
 (40' RIGHT OF WAY)

DIMENSIONS SHOWN HEREON ARE PER FIRST FLOOR PLAN

LOT WEST 1/2 OF LOT 6, LOTS 7 & 8	
LOT SIZE	11,594± SQ. FT.
DRIVEWAY TO R/W	897± SQ. FT.
ENTRY WALK	0± SQ. FT.
APPROXIMATE SIDEWALK	0± SQ. FT.
RIGHT-OF-WAY LENGTH	77.30 FT.
TOTAL BUILDING COVERAGE	3,887± SQ. FT. 34%
TOTAL IMPERVIOUS COVERAGE	5,094± SQ. FT. 44%
TOTAL EASEMENT AREA	0± SQ. FT.



Scale: 1/20" = 1 ft.



1/5

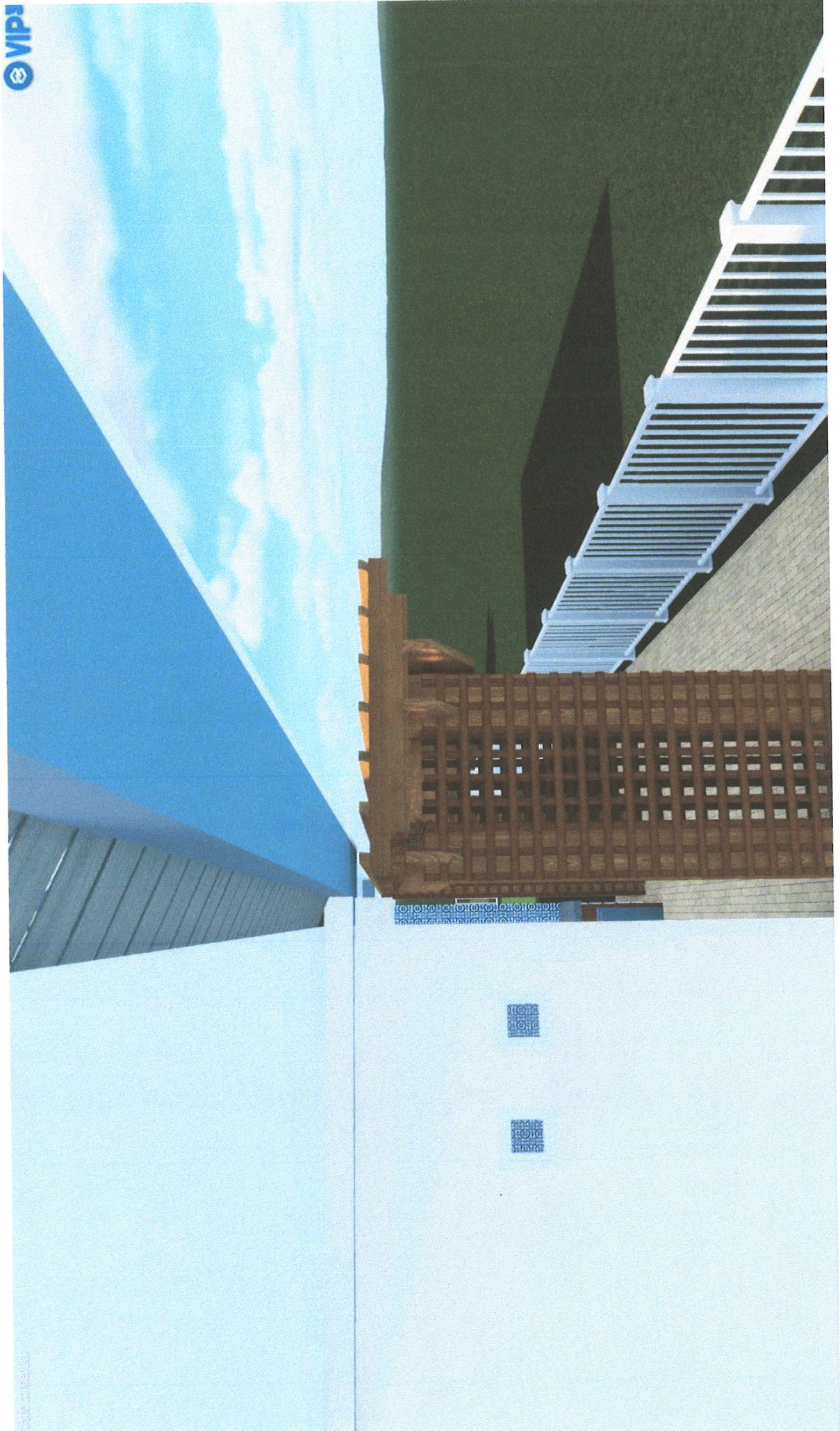
5'

2'

N 89° 31' 46"

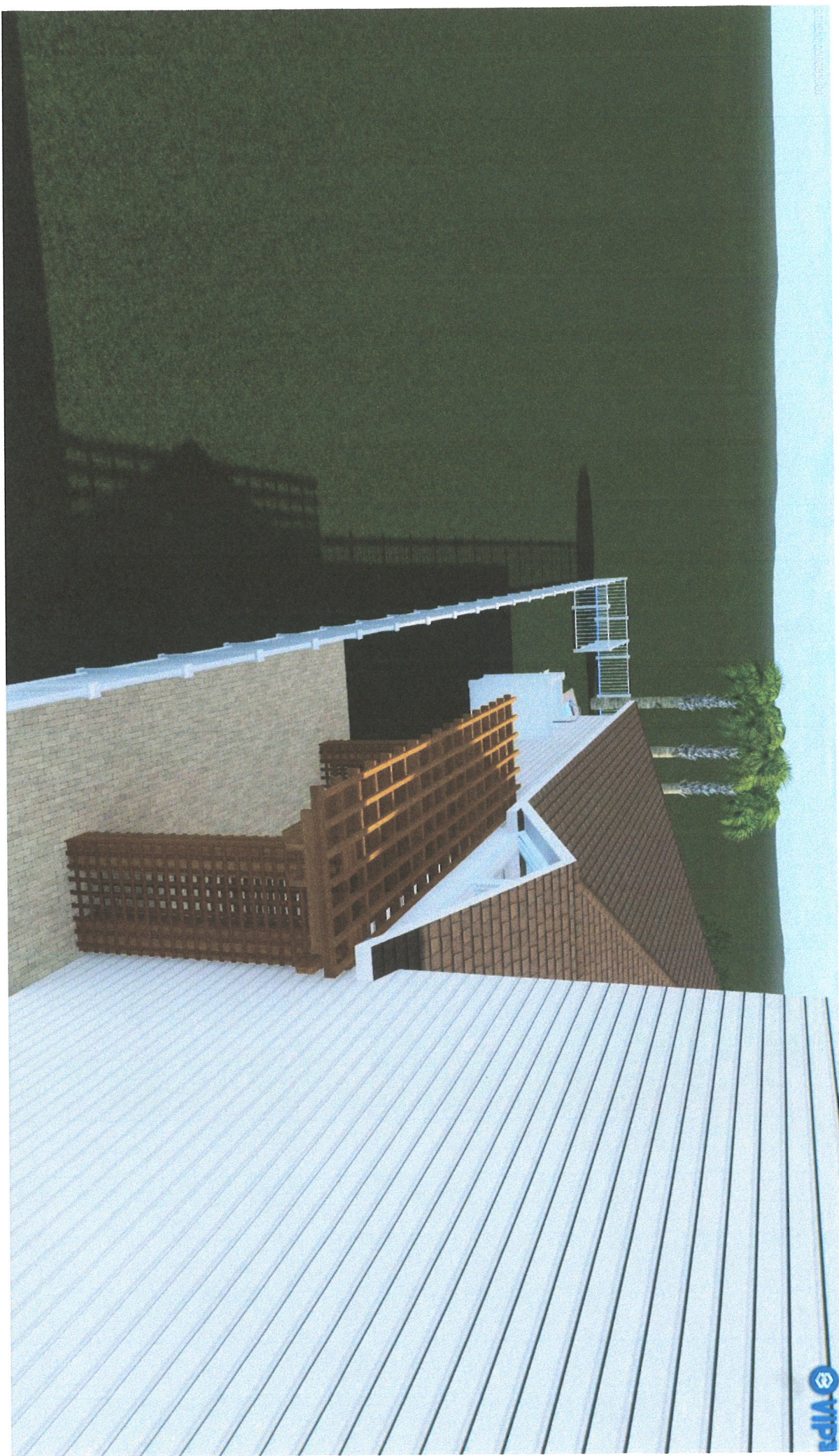
150'

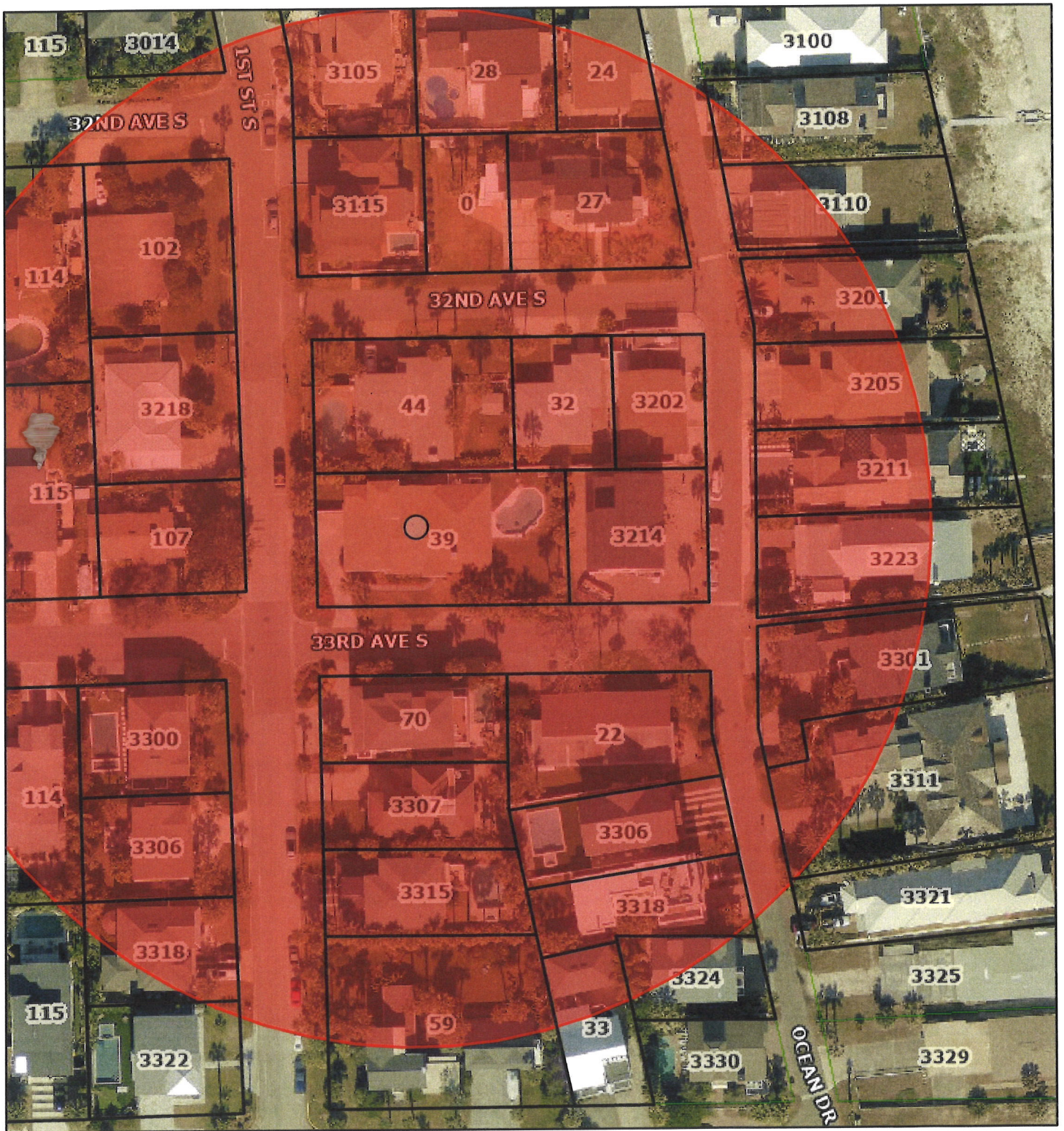
0.30 in. = 1 ft







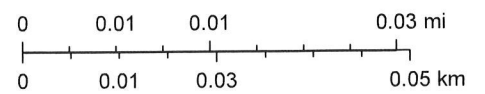




March 5, 2026

 Parcels

1:1,128



**PUBLIC NOTICE**

The **Board of Adjustment** for the City of Jacksonville Beach, Florida will meet and hold a public hearing on **Tuesday, March 17, 2026, at 6:00 p.m.** in the **City Council Chambers**, located at **11 North 3rd Street**, Jacksonville Beach, Florida to consider the following development permit applications for a variance from the requirements of the Land Development Code

**BOA#26-100012 Section(s):** 34-611(e)(1)(c)(2), for a easterly side yard setback of 8.1 feet in lieu of 10 feet minimum, 34-611(c)(1)(c)(2), for a westerly side yard setback of 7.7 feet in lieu of 10 feet minimum, 34-611(e)(1)(c)(1) for a front yard setback of 21 feet in lieu of 25 minimum, to address existing nonconformities and allow for second story addition, new front addition and front entry porch, to an existing one-story single-family home, located at **property addressed 1601 N 6th Ave RE# 177903-0000, legally described as Lot 7, Block 1, Pine Grove Unit #**

**BOA#25-100013 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 16 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 7.6 feet in lieu of 10 feet, and 34-611(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 4, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#25-100014 Section(s):** 34-611(e)(1)(c)(1), for a front yard setback of 20 feet in lieu of 25 feet, 34-611(e)(1)(c)(2), for a side yard setback of 5 feet in lieu of 10 feet, 34-611(e)(1)(c)(3) for a rear yard setback of 20 feet in lieu of 30 feet minimum, and 34-611(e)(1)(c), for maximum lot coverage for primary structure and required driveway of 49% in lieu of 35%, for construction of a new single-family home, located at **property addressed 123 S 30th Ave RE# 181643-0000, legally described as Lot 3, Block 7, Atlantic Shores Ocean Front Section- Division C**

**BOA#26-100015 Section(s):**

34-614(e)(3)(c)(1) for a front yard setback of 3.7 feet in lieu of 20 feet minimum, 34-614(e)(3)(c)(2) for an interior corner side yard of 3.9 feet in lieu of 10 minimum, 34-614(e)(3)(c)(2) for an corner side yard of 4.5 feet in lieu of 10 minimum, 34-614(e)(3)(c)(3), for a rear yard setback of 5 feet in lieu of 20 feet minimum following the RM-1 standards, to address existing nonconformities and to allow for the expansion of the structure to accommodate a second dwelling unit, to an existing one-story historic single-family home, located at **property addressed 504 S 2nd St RE# 175963-0000, legally described as The North 1/2 of Lots 1 and 2, Block 53, Pablo Beach South**

**BOA#26-100016 Section(s):** 34-613(e)(1)(c)(3), for a rear yard setback of 10 feet in lieu of 20 feet, 34-613(e)(1)(e), for maximum lot coverage for primary structure and required driveway of 39% in lieu of 35%, to construct two new town homes, located at **property addressed 803 S 9th Ave RE# 176614-0000, legally described as The South 1/2 of Lots 11 and 12, Block 89, Oceanside Park**

**BOA#26-100017 Section(s):** 34-611(e)(1)(c)(3), for a rear yard setback of 20 feet in lieu of 30 feet minimum, 34-613(e)(1)(b), for an accessory structure setback from main structure of 6 inches in lieu of 5 feet minimum, for new pergola and to address existing nonconformities, located at **property addressed 39 S 33rd Ave RE# 181533-0000, legally described as The West 1/2 of Lot 6, Block 4, All of Lots 7& 8, Block 4, Atlantic shores**

These applications are on file with the Planning and Development Department, City Hall, 11 North 3rd Street, and are open to public review during regular business hours.

Board of Adjustment  
City of Jacksonville Beach  
**NOTICE**

*If you are a person with a disability who needs an accommodation to participate in a meeting, you are entitled, at no cost to you, to the provision of certain assistance. Please contact the ADA Coordinator by phone 904-712-6297 or submit an Accommoda-*

*tion Request to the ADA Coordinator as far in advance of the meeting as possible; preferably 7 days but no less than 2 business days, before the meeting. If you are hearing or voice impaired, please call Florida Relay at 711 for assistance.*

*In accordance with Section 286.0114, Florida Statutes, any member of the public may attend a public hearing and can be heard on any matter presented before the Agency. Anyone who wishes to provide live public comment should complete a "Speaker Request Card" and submit it to the recording secretary prior to the beginning of the meeting. These forms are available at the entrance of the City Council Chambers for your convenience. Speakers will be called to address the Agency when specified items are under consideration and will be limited to a maximum of three minutes or less, at the discretion of the presiding officer.*

*Alternatively, written public comment may be submitted in advance and must include the following: (1) First Name; (2) Last Name; (3) Address; (4) Public Hearing Date; (5) Specific Agenda Item(s); and (6) Comments. Written public comments may be submitted by one of the following options: (1) Email to the Agency Administrator at [planning@jaxbchfl.net](mailto:planning@jaxbchfl.net); (2) Postal mail to Community Redevelopment Agency Administrator - Public Comment, 11 3rd Street North, Jacksonville Beach, FL 32250; or (3) Drop off in-person to Planning and Development at City Hall. Written comments that include all required information and are received 24 hours in advance of the meeting will be made part of the record. All comments received are public record.*

*In accordance with Section 286.0105, Florida Statutes, any person desirous of appealing any decision reached at this meeting may need a record of the proceedings. Such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

Mar. 5 00 (26-01326D)